

# EXTON SQUARE MALL MULTI-FAMILY RESIDENTIAL CONDITIONAL USE PLANS

SITUATED IN:  
WEST WHITELAND TOWNSHIP  
CHESTER COUNTY, PA  
260 EXTON SQUARE PARKWAY

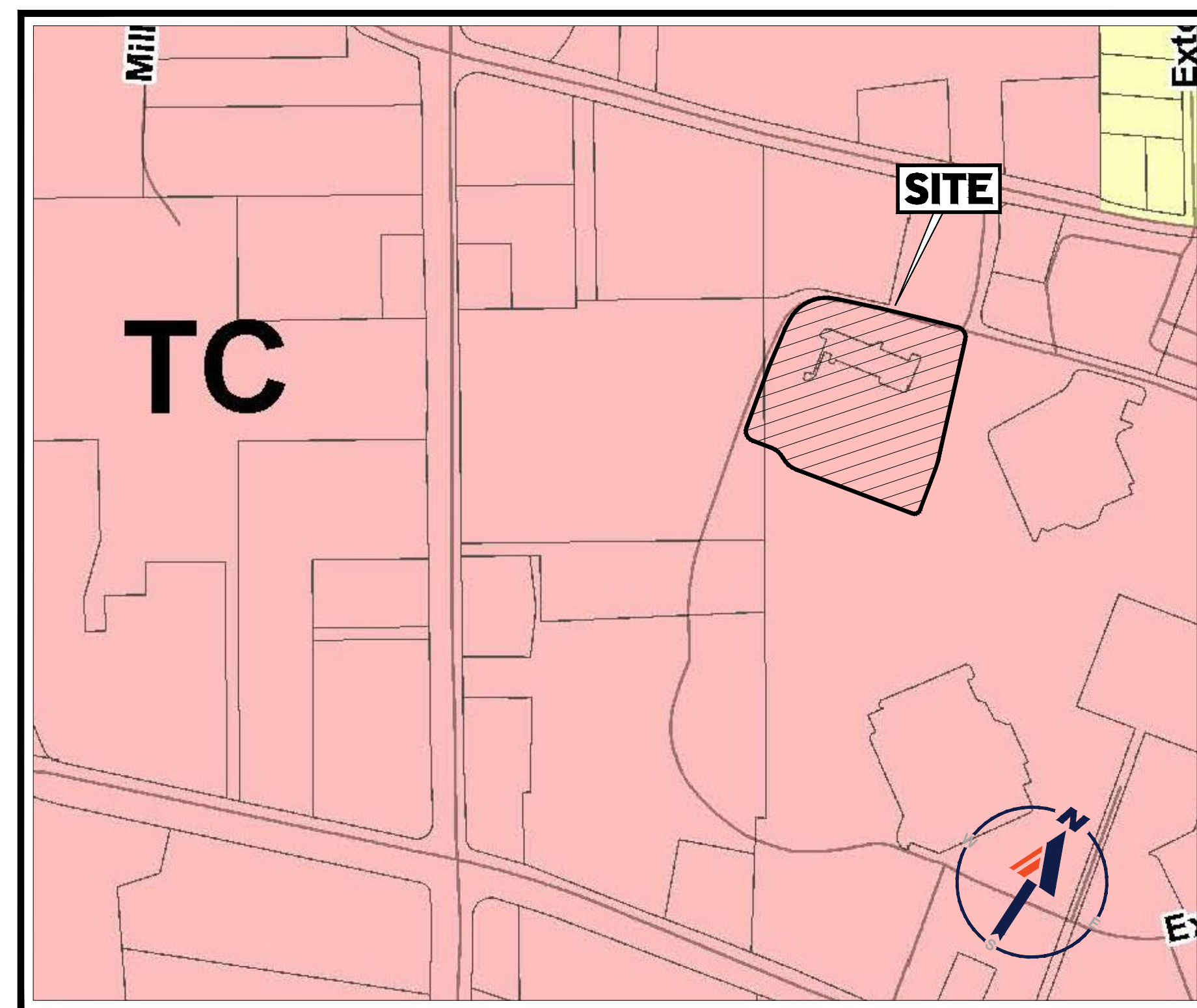
DEVELOPED BY:  
PREIT SERVICES LLC  
APPLICANT ON BEHALF OF:  
PR EXTON SQUARE PROPERTY, LP.  
ONE COMMERCE SQUARE  
2005 MARKET STREET, SUITE 1000  
PHILADELPHIA, PA 19103

### DRAWING SHEET INDEX

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### LIST OF WAIVERS

No.	SECTION WAIVER REQUESTED FROM	REASON FOR WAIVER
1	SECTION 281-36.D	PARTIAL WAIVER TO PERMIT REQUIRED STREETS IN ALTERNATE LOCATIONS ALONG THE LOOP ROAD DUE TO CONFLICTS WITH UNDERGROUND UTILITIES.
2	SECTION 281-37.B.(4)	PARTIAL WAIVER TO PERMIT SHADE TREES IN ALTERNATE LOCATIONS OTHER WITHIN THE REQUIRED PARKING LOT ISLANDS DUE TO CONFLICTS WITH UNDERGROUND UTILITIES AND EASEMENTS.
3	SECTION 270-20	WAIVER TO NOT INFILTRATE THE REQUIRED INFILTRATION VOLUME OF ONE (1) INCH OF RUNOFF FROM ALL PROPOSED IMPERVIOUS SURFACES.



**ZONING MAP**

SCALE: 1" = 350'  
SOURCE: WEST WHITELAND TOWNSHIP WEBSITE



**LOCATION MAP**

SCALE: 1" = 500'  
SOURCE: GOOGLE

PREPARED BY

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PROJECT No.: PP203085  
DRAWN BY: JMF  
CHECKED BY: CND  
DATE: 04/20/2020  
CAD ID: PP203085 CND-0

PROJECT:

**CONDITIONAL USE  
PLAN SET**

FOR  
**PR EXTON SQUARE  
PROPERTIES, LP.**

PROPOSED MULTI-FAMILY  
RESIDENTIAL DEVELOPMENT  
260 EXTON SQUARE PARKWAY  
WEST WHITELAND TOWNSHIP  
CHESTER COUNTY, PA

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PENNSYLVANIA LICENSE No. PE075317  
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NEW JERSEY LICENSE No. 240E09081400

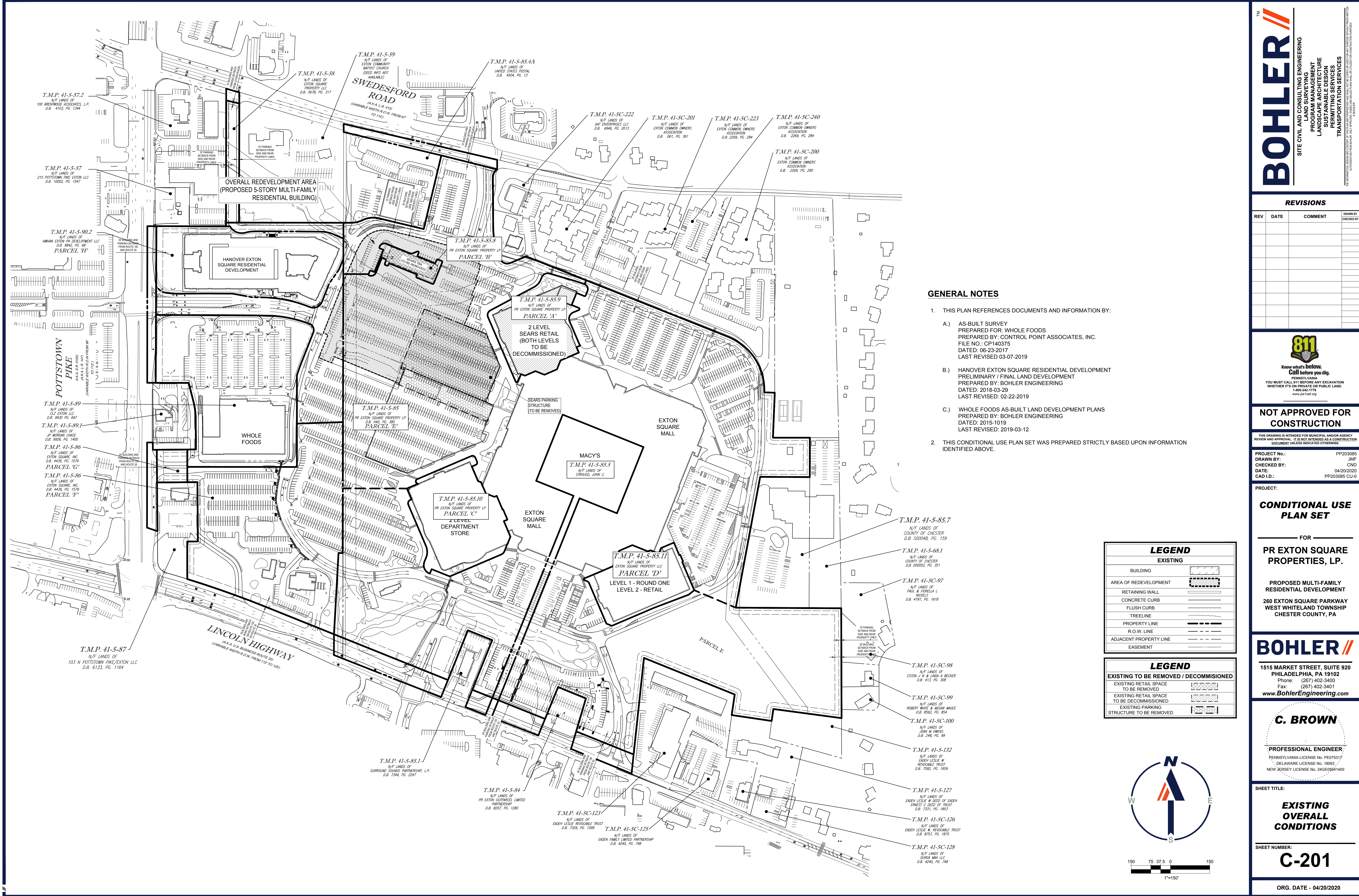
SHEET TITLE:

**COVER**

SHEET NUMBER:

**C-101**

ORG. DATE - 04/20/2020



OVERALL REDEVELOPMENT AREA  
(PROPOSED 5-STORY MULTI-FAMILY  
RESIDENTIAL BUILDING)

HANOVER EXTON  
SQUARE RESIDENTIAL  
DEVELOPMENT

WHOLE  
FOODS

2 LEVEL  
SEARS RETAIL  
(BOTH LEVELS  
TO BE  
DECOMMISSIONED)

SEARS PARKING  
STRUCTURE  
(TO BE REMOVED)

MACY'S  
T.M.P. 41-5-85.5  
N/F LANDS OF  
STROUD, JOHN C.

T.M.P. 41-5-85.10  
N/F LANDS OF  
PR EXTON SQUARE PROPERTY LP  
PARCEL 'C'

EXTON  
SQUARE  
MALL

T.M.P. 41-5-85.11  
N/F LANDS OF  
EXTON SQUARE PROPERTY LLC  
PARCEL 'D'

LEVEL 1 - ROUND ONE  
LEVEL 2 - RETAIL

EXTON  
SQUARE  
MALL

PARCELE

**GENERAL NOTES**

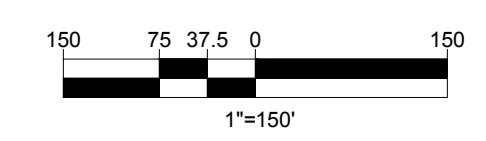
- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
  - AS-BUILT SURVEY PREPARED FOR: WHOLE FOODS PREPARED BY: CONTROL POINT ASSOCIATES, INC. FILE NO.: CP140375 DATED: 06-23-2017 LAST REVISED: 03-07-2019
  - HANOVER EXTON SQUARE RESIDENTIAL DEVELOPMENT PRELIMINARY / FINAL LAND DEVELOPMENT PREPARED BY: BOHLER ENGINEERING DATED: 2018-03-29 LAST REVISED: 02-22-2019
  - WHOLE FOODS AS-BUILT LAND DEVELOPMENT PLANS PREPARED BY: BOHLER ENGINEERING DATED: 2015-10-19 LAST REVISED: 2019-03-12
- THIS CONDITIONAL USE PLAN SET WAS PREPARED STRICTLY BASED UPON INFORMATION IDENTIFIED ABOVE.

**LEGEND**  
EXISTING

BUILDING	
AREA OF REDEVELOPMENT	
RETAINING WALL	
CONCRETE CURB	
FLUSH CURB	
TREELINE	
PROPERTY LINE	
R.O.W. LINE	
ADJACENT PROPERTY LINE	
EASEMENT	

**LEGEND**  
EXISTING TO BE REMOVED / DECOMMISSIONED

EXISTING RETAIL SPACE TO BE REMOVED	
EXISTING RETAIL SPACE TO BE DECOMMISSIONED	
EXISTING PARKING STRUCTURE TO BE REMOVED	



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CAD ID:	PP203085 CU-D

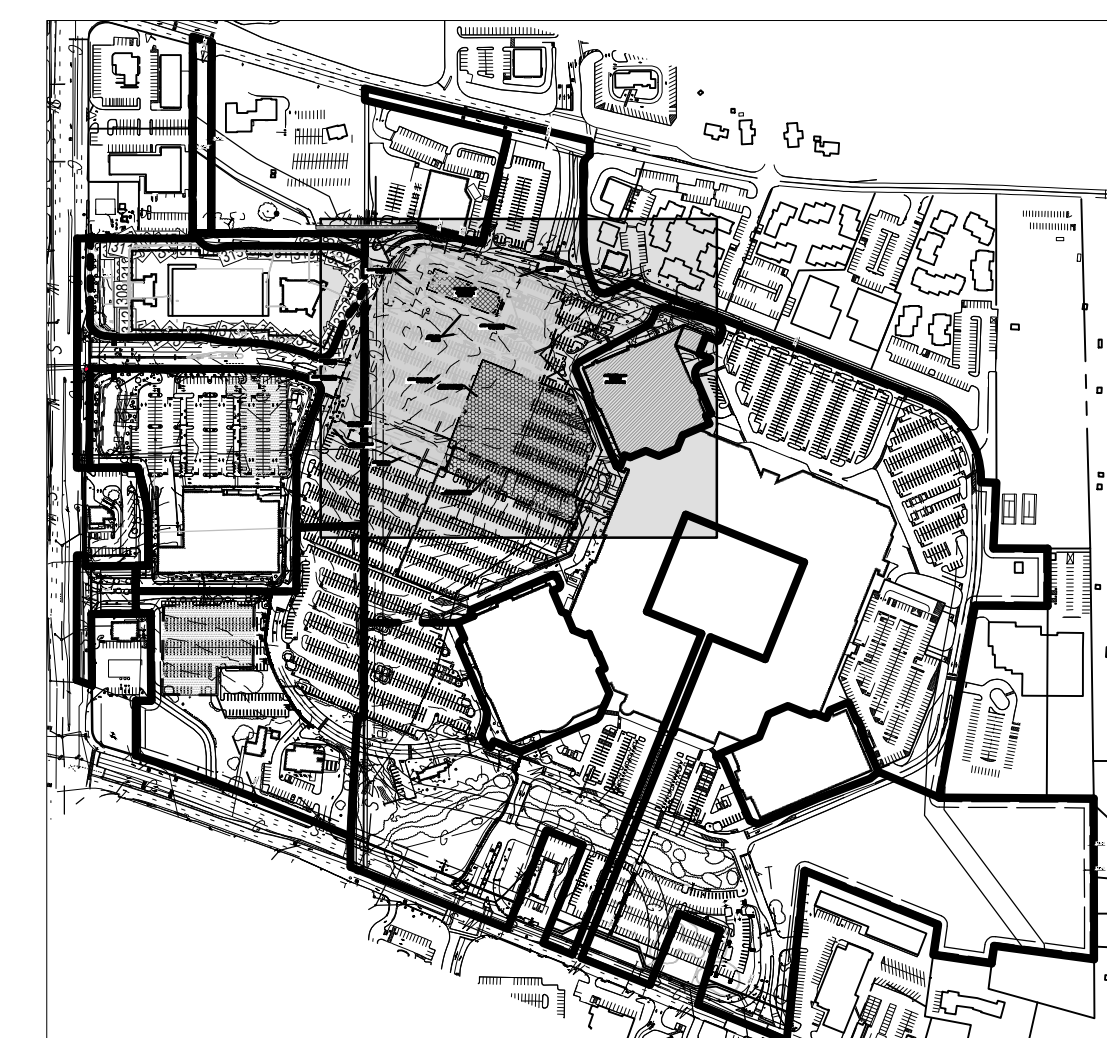
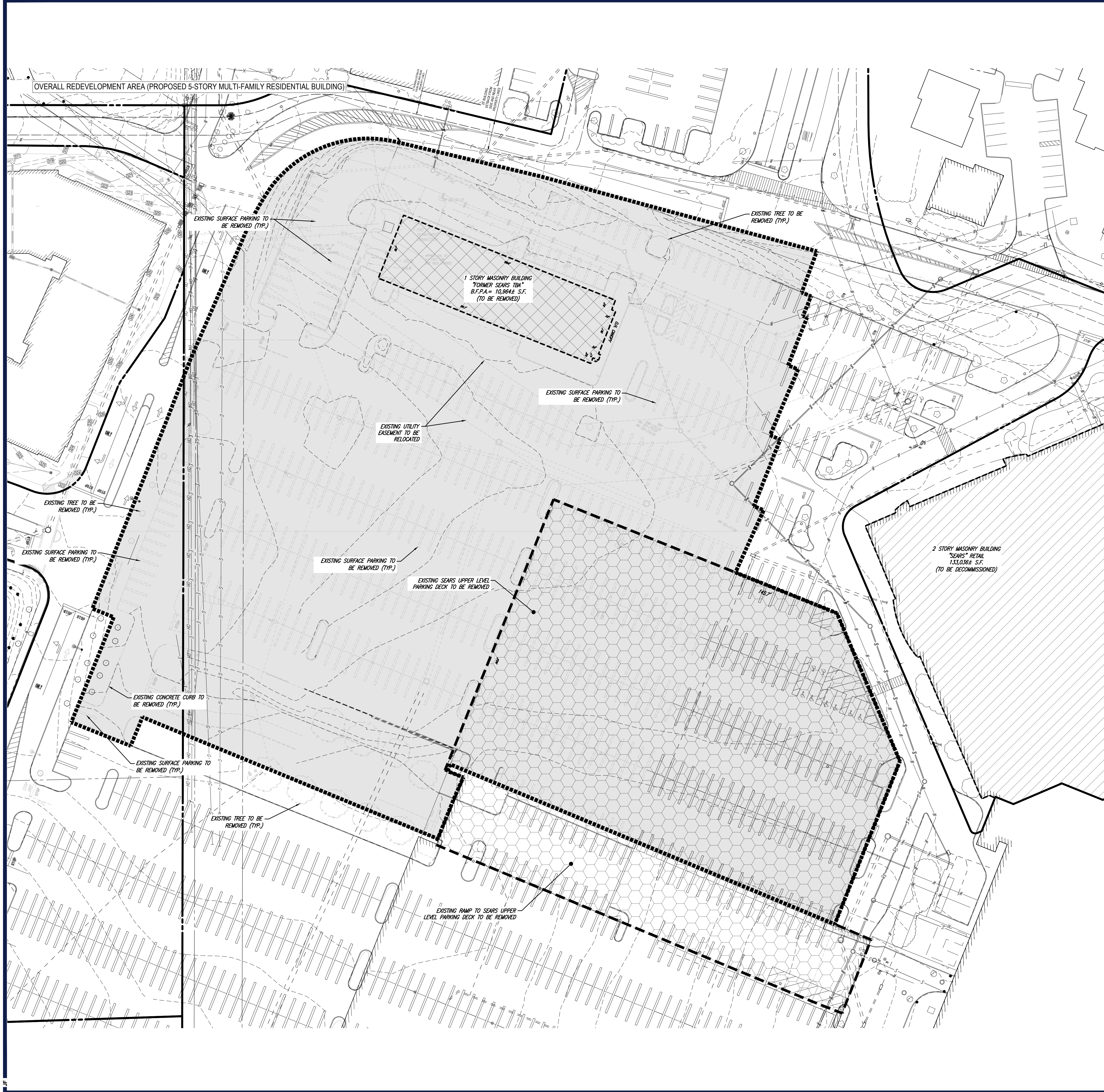
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NEW JERSEY LICENSE NO. 24609981400

SHEET TITLE:  
**EXISTING OVERALL CONDITIONS**  
SHEET NUMBER:  
**C-201**  
ORG. DATE - 04/20/2020

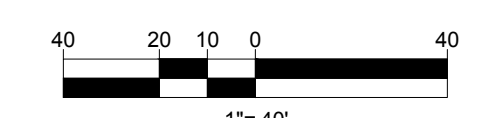
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AREA OF WORK PLAN  
SCALE: 1" = 500'

LEGEND	
EXISTING	
BUILDING	[Hatched pattern]
AREA OF REDEVELOPMENT	[Dashed line]
RETAINING WALL	[Dashed line]
CONCRETE CURB	[Dashed line]
FLUSH CURB	[Dashed line]
TREELINE	[Dashed line]
PROPERTY LINE	[Dashed line]
R.O.W. LINE	[Dashed line]
ADJACENT PROPERTY LINE	[Dashed line]
EASEMENT	[Dashed line]

LEGEND	
EXISTING TO BE REMOVED / DECOMMISSIONED	
EXISTING RETAIL SPACE TO BE REMOVED	[Hatched pattern]
EXISTING RETAIL SPACE TO BE DECOMMISSIONED	[Hatched pattern]
EXISTING PARKING STRUCTURE TO BE REMOVED	[Hatched pattern]



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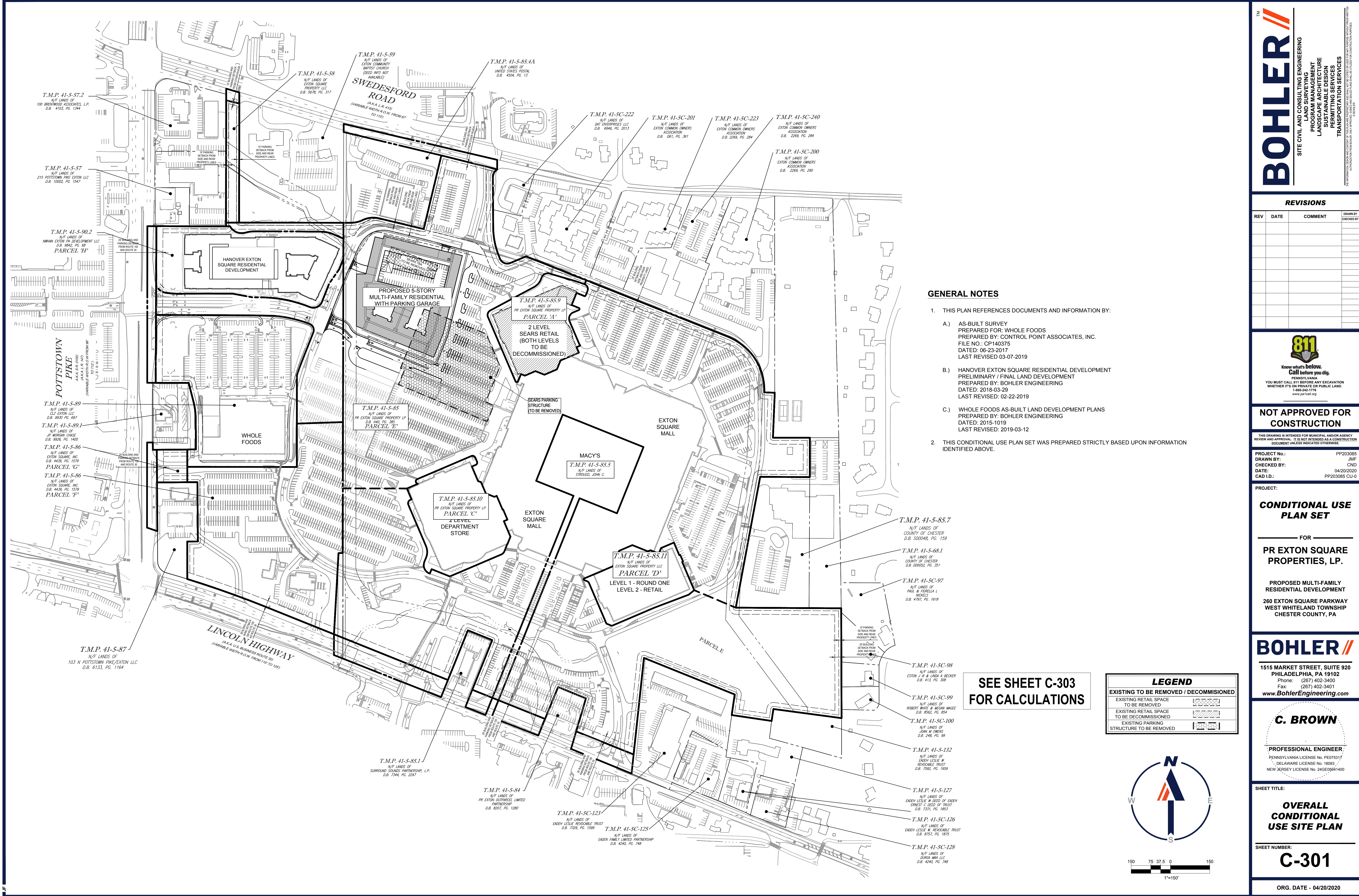
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DELAWARE LICENSE No. 18093  
NEW JERSEY LICENSE No. 240E09681400

SHEET TITLE:  
**EXISTING CONDITIONS**

SHEET NUMBER:  
**C-202**

ORG. DATE - 04/20/2020

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R:\000000\DRAWINGS\PLAN SET\CONDITIONAL USE\REV\PP203085 CUJ-01.LAYOUT: C-301.DWG: CU PLAN

**GENERAL NOTES**

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**SEE SHEET C-303 FOR CALCULATIONS**

LEGEND	
EXISTING RETAIL SPACE TO BE REMOVED	
EXISTING RETAIL SPACE TO BE DECOMMISSIONED	
EXISTING PARKING STRUCTURE TO BE REMOVED	



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PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT  
 260 EXTON SQUARE PARKWAY  
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 CHESTER COUNTY, PA

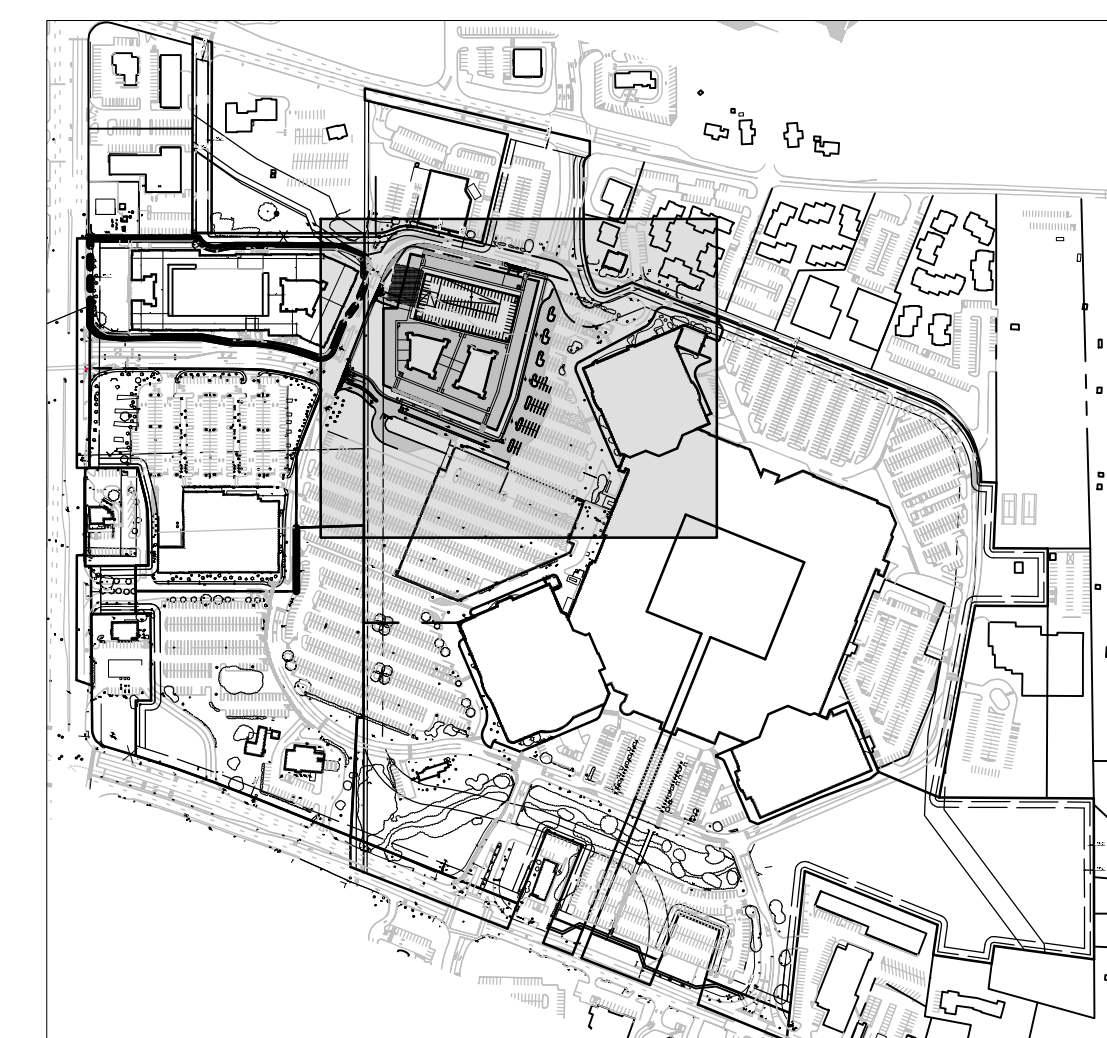
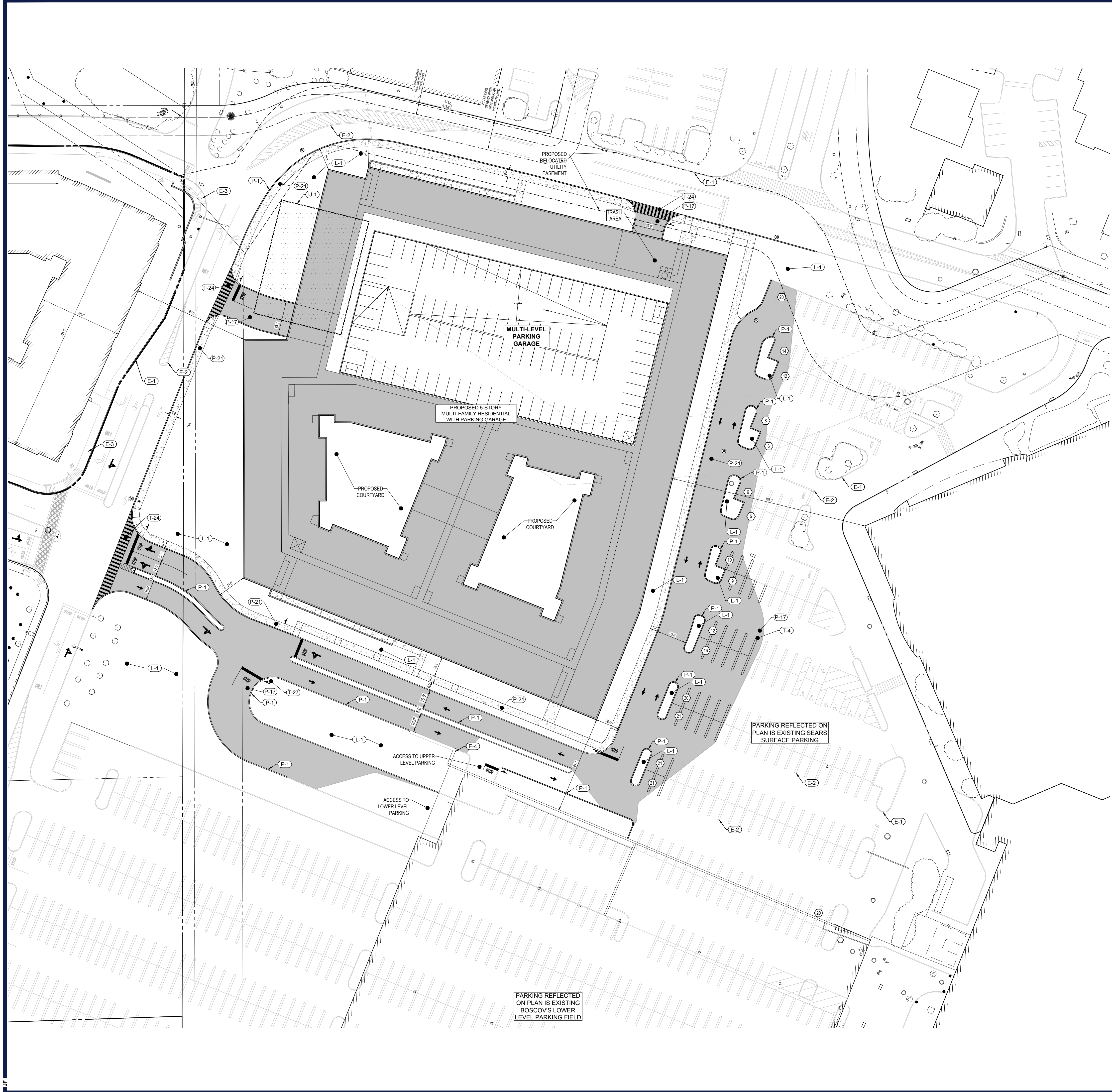
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SHEET TITLE:  
**OVERALL CONDITIONAL USE SITE PLAN**

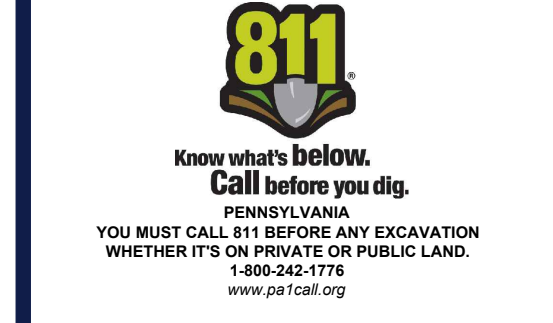
SHEET NUMBER:  
**C-301**

ORG. DATE - 04/20/2020



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PROJECT:  
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PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT  
260 EXTON SQUARE PARKWAY  
WEST WHITELAND TOWNSHIP  
CHESTER COUNTY, PA

**LEGEND**  
PROPOSED

(P-1)	TYPICAL CONCRETE CURB
(P-17)	STANDARD ASPHALT PAVEMENT
(P-21)	CONCRETE SIDEWALK
(L-1)	PROPOSED LANDSCAPE / LAWN AREA
(T-1)	HAIRPIN STRIPING
(T-24)	STANDARD CROSSWALK
(T-27)	STANDARD SIGN
(U-1)	POSSIBLE LOCATION OF UNDERGROUND STORMWATER

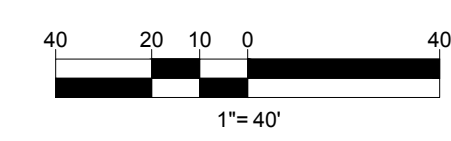
**LEGEND**  
EXISTING TO REMAIN

(E-1)	TYPICAL CONCRETE CURB
(E-2)	TYPICAL PAVEMENT MARKING
(E-3)	TYPICAL CONCRETE SIDEWALK
(E-4)	RETAINING WALL

**LEGEND**  
LINES

---	EXISTING PROPERTY LINE
---	ADJACENT PROPERTY LINE

**SEE SHEET C-303 FOR CALCULATIONS**



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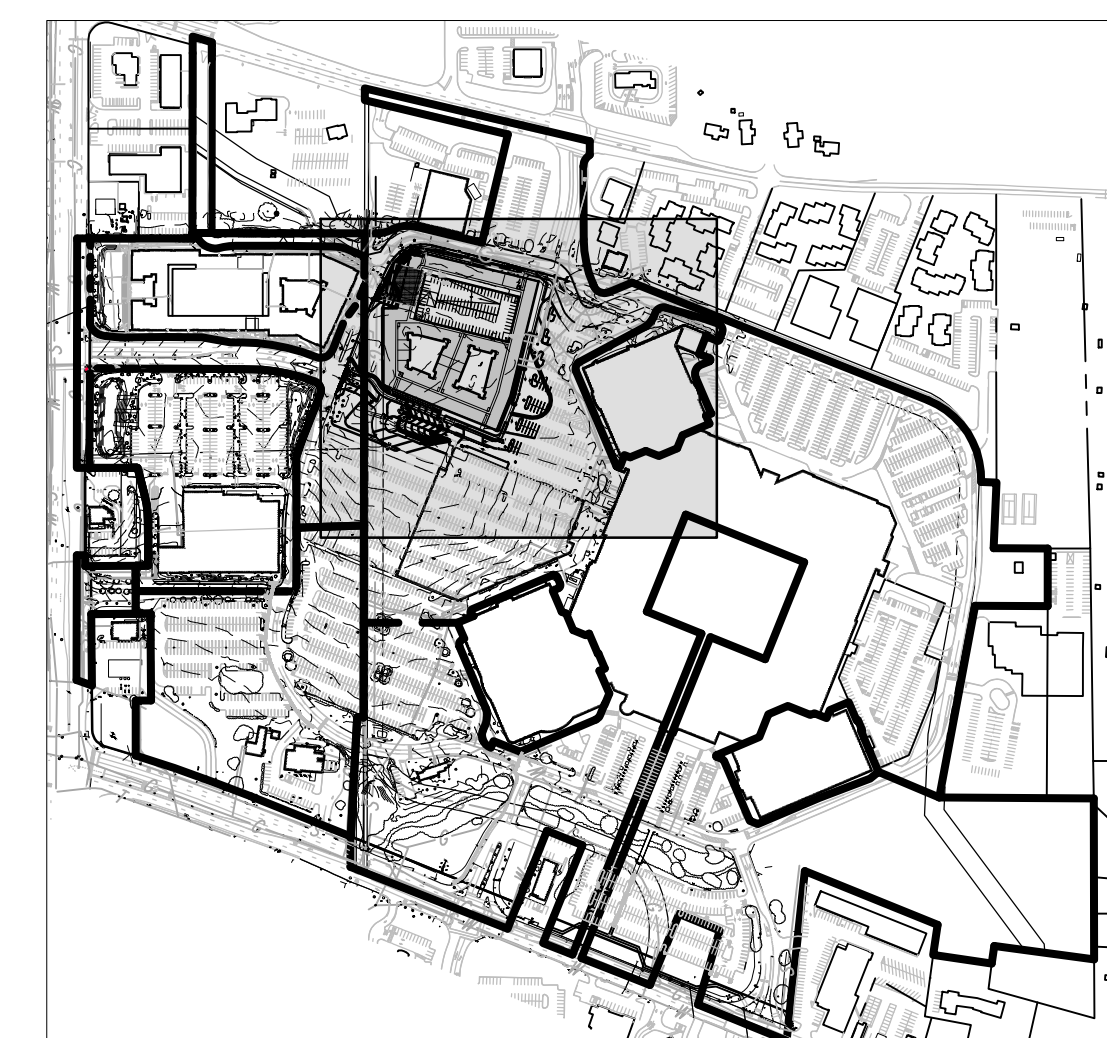
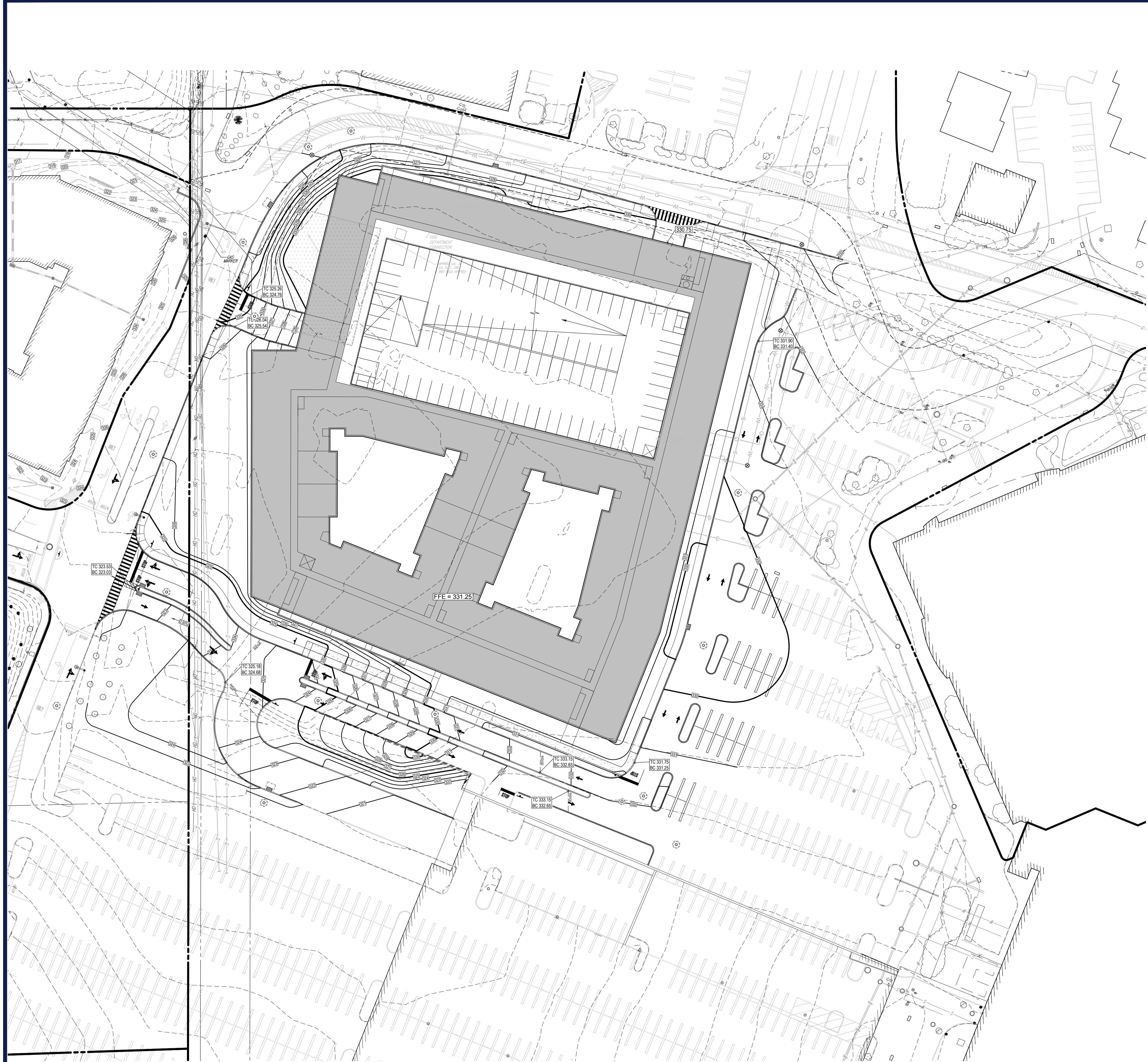
SHEET TITLE:  
**CONDITIONAL USE SITE PLAN**

SHEET NUMBER:  
**C-302**

ORG. DATE - 04/20/2020

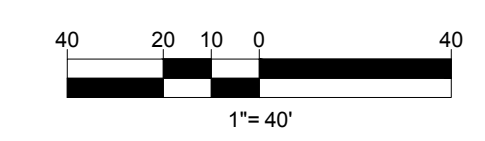
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**LEGEND**  
PROPOSED

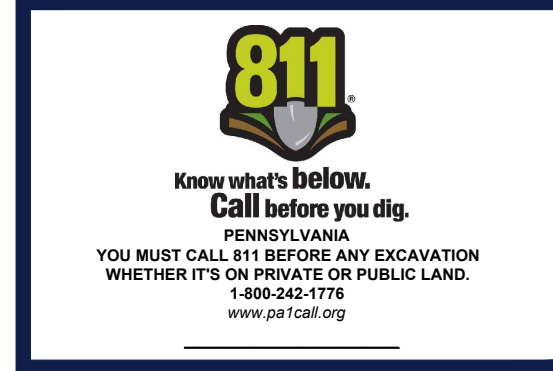
STORM PIPE	—S—
SANITARY PIPE	—S—
GAS	—G—
WATER	—W—
TELEPHONE	—T—
ELECTRIC	—E—
CONTOUR MINOR	—329—
CONTOUR MAJOR	—330—
DRAINAGE INLET	—DI—
MANHOLE	—MH—
SPOT ELEVATION	—SE—



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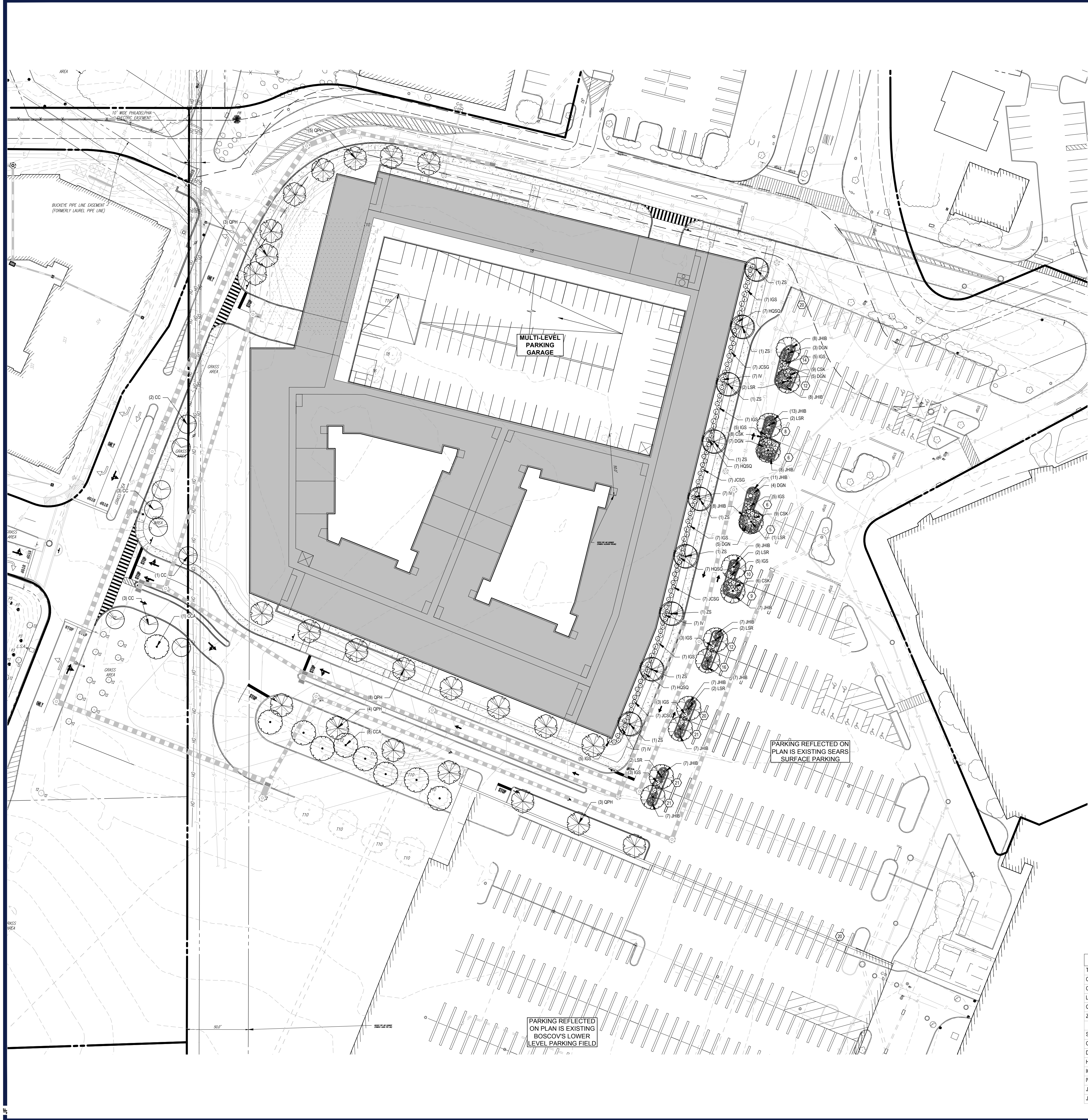
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SHEET TITLE:  
**GRADING**  
SHEET NUMBER:  
**C-401**  
ORG. DATE - 04/20/2020

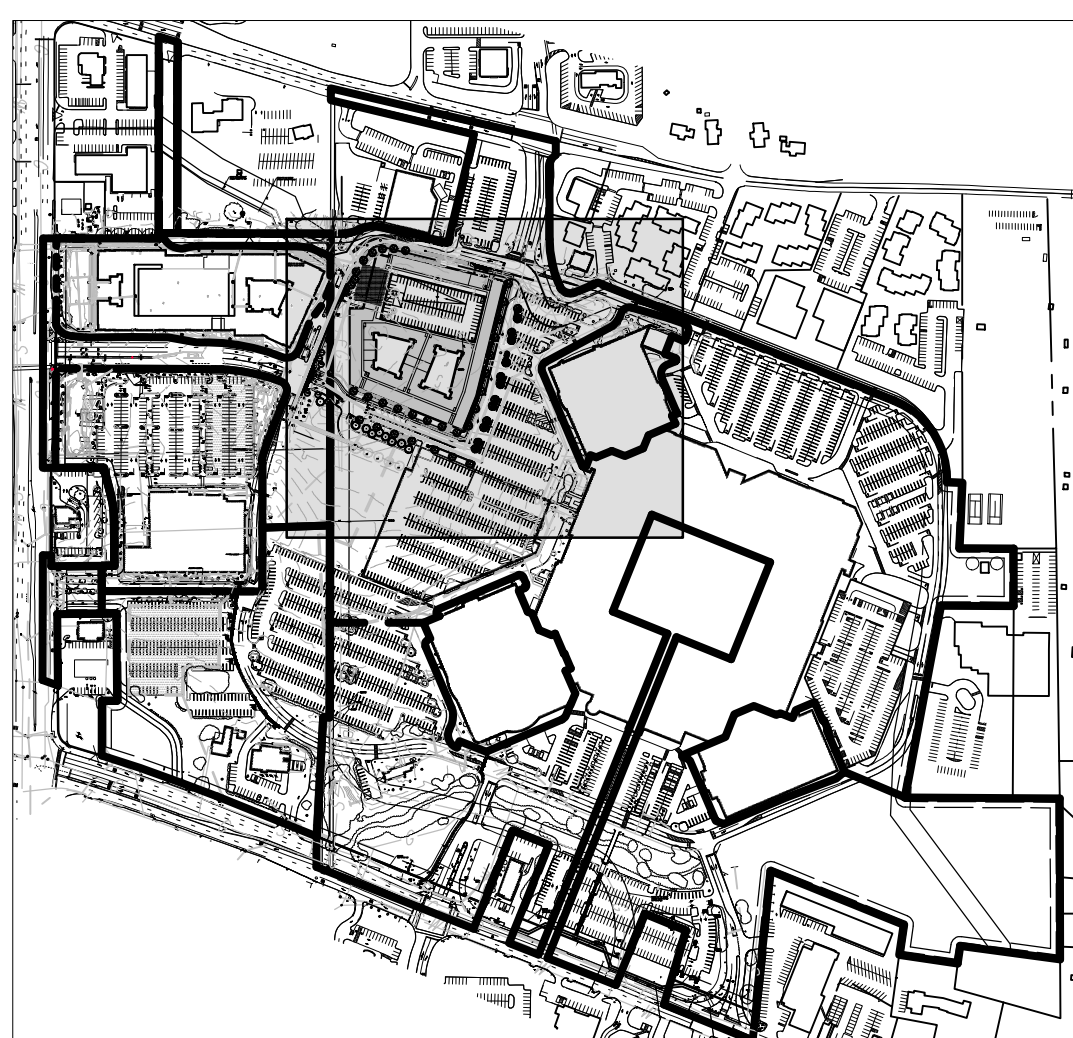
R:\20\PP203085\DRAWINGS\PLAN SET\CONDITIONAL USE\REV\PP203085 CU-0 LAYOUT C-401.GRD





**GENERAL NOTES:**

- THIS PLAN IS TO BE UTILIZED FOR CONDITIONAL USE PURPOSES ONLY.
- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2 C., UNLESS OTHERWISE STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
- IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION. ANY PLANT MATERIAL THAT ARE TO BE INSTALLED WITHIN STORMWATER BMP FEATURES MUST BE NATIVE SPECIES.
- WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE RAIN GARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.



**COMPLIANCE CHART**

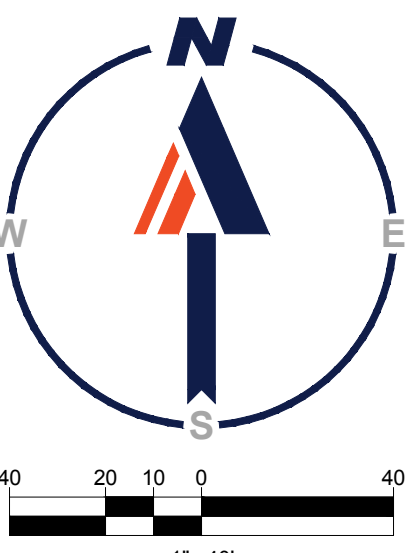
SECTION	REQUIREMENT	CALCULATIONS (REQUIRED/PROVIDED)	COMPLIANCE
S.A.L.D. 0.281-34.1(5)(2) COMPENSATORY PLANTING	(a) FOR DECIDUOUS TREES OF 12 INCHES UP TO 24 INCHES DBH, ONE INCH OF NEW TREE DIAMETER SHALL BE PROVIDED FOR EVERY FOUR INCHES OF EXISTING TREE DIAMETER CUT OR REMOVED.	TOTAL CAL. OF TREES 12-24" TO BE REMOVED = 36" REQUIRED: 36 / 4 = 9 TREES TOTAL COMPENSATION REQUIRED: 9 TREES PROVIDED: 9 CCA (9 DECIDUOUS TREES)	COMPLIES
281-35 (E & G) BUFFER & SCREEN PLANTING STANDARDS	E. USE OF PERIMETER BUFFERS: (1) PERIMETER BUFFERS SHALL BE USED ALONG ALL PROPERTY BOUNDARY LINES OR RESIDENTIAL SUBDIVISION TRACT BOUNDARY LINES, ALONG ARTERIAL STREET RIGHT-OF-WAY LINES, AND AROUND THE ENTIRE PERIMETER OF STORMWATER MANAGEMENT BASINS, AND SHALL BE USED ADJACENT TO THE HIGHER CLASSIFIED STREET RIGHT-OF-WAY ON REVERSE FRONTAGE RESIDENTIAL LOTS, WHERE A LOW LEVEL OF VISUAL BUFFERING IS DESIRABLE, AS DETERMINED BY THE TOWNSHIP.	PROPOSED SITE IMPROVEMENTS NOT DIRECTLY ADJACENT TO PROPERTY BOUNDARIES. NO PROPOSED ABOVE GROUND STORMWATER BASINS. NOT APPLICABLE.	NOT APPLICABLE
281-36 STREET TREES	D. TREES SHALL BE PLANTED AT A RATIO OF AT LEAST ONE TREE PER 50 LINEAR FEET OF RIGHT-OF-WAY OR PAVEMENT FRONTAGE, OR FRACTION THEREOF, WITHOUT DEDUCTING THE AREAS OF DRIVEWAY CUTS OR CROSSWALKS. TREES SHALL BE DISTRIBUTED ALONG THE ENTIRE PLANTING STRIP, ALTHOUGH THEY NEED NOT BE EVENLY SPACED, ACCORDING TO THE FOLLOWING GUIDELINES: (1) STREET TREE SPACING MAY BE AS CLOSE AS PROPER HORTICULTURAL PRACTICES WILL ALLOW FOR THE SPECIES SELECTED. STREET TREES SHALL BE SPACED NO GREATER THAN 50 FEET ON CENTER, EXCEPT IN CONJUNCTION WITH A PROJECT IDENTIFICATION SIGN SIGHT TRIANGLE. (5) TREES SHALL BE PLANTED SO AS NOT TO INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF SIDEWALKS, LIGHTS, AND UTILITIES. TREES SHALL BE PLANTED A MINIMUM DISTANCE OF: (a) THREE FEET FROM SIDEWALKS AND THE FACE OF CURBS, UNLESS THEY ARE PLANTED IN A TREE PIT. IF TREES ARE LOCATED CLOSER THAN 10 FEET TO A SIDEWALK, ROOT BARRIERS SHALL BE PLACED ALONG THE TREE SIDE OF THE SIDEWALK FOR A DISTANCE OF 12 FEET, CENTERED ON THE TRUNK. ROOT BARRIERS ARE NOT REQUIRED ALONG THE CURB. (b) TEN FEET FROM UNDERGROUND UTILITIES. (c) FIFTEEN FEET FROM OVERHEAD UTILITIES, UNLESS THE USE OF SMALL SHADE OR ORNAMENTAL TREES IS APPROVED.	LENGTH ALONG LOOP ROAD = 742± LF REQUIRED: 742 / 50 = 14.8 OR 15 TREES PROVIDED: 5 CC, 8 OPH (13 TREES)  LENGTH ALONG ENTRANCE DRIVE (NORTH): 450± LF REQUIRED: 450 / 50 = 9 TREES PROVIDED: 1 CC, 8 OPH (9 TREES)  LENGTH ALONG ENTRANCE DRIVE (SOUTH): 475± LF REQUIRED: 475 / 50 = 9.5 OR 10 TREES PROVIDED: 3 CC, 7 OPH (10 TREES)	WAIVER  COMPLIES  COMPLIES
281-37 PARKING LOT DESIGN & LANDSCAPING	B.(4) EACH PLANTING ISLAND SHALL CONTAIN ONE SHADE TREE PLUS SHRUBS, GROUND COVER, PERENNIALS AND/OR MULCH TO COVER THE ENTIRE AREA AT MATURITY. AT LEAST 50% OF THE PROPOSED SHADE TREES SHALL BE NATIVE TO THE REGION. SHRUBS SHALL NOT EXCEED TWO FEET IN HEIGHT.  D.(1) PLANTINGS ARE REQUIRED FOR ALL SIDES OF A BUILDING FACING PARKING AREAS. PLANTINGS ARE NOT REQUIRED ALONG THE SIDES OF BUILDINGS CONTAINING SERVICE OR LOADING AREAS. IF PART OF A SIDE OF THE BUILDING FACES PARKING, ONLY THAT PORTION IS SUBJECT TO THESE REQUIREMENTS. LOADING AREAS MUST BE APPROPRIATELY SCREENED ACCORDING TO THE REQUIREMENTS OF § 281-35. LOADING AREA SCREENING IS IN ADDITION TO THE REQUIREMENTS OF THIS SECTION. (2) THE MINIMUM PLANTING REQUIREMENT SHALL BE ONE SHADE TREE PER 50 FEET OF BUILDING FACADE PLUS FIVE SMALL SHRUBS PER 20 FEET OF BUILDING FACADE.	TOTAL REVISED PARKING ISLANDS = 14 REQUIRED: 14 SHADE TREES PROVIDED: 13 LSR (13 SHADE TREES)  TOTAL LENGTH ALONG EAST FACADE = 404± LF REQUIRED: 404 / 50 = 8.08 OR 9 SHADE TREES (454 / 20) ± 5 = 101 SMALL SHRUBS PROVIDED: 52 B (9 SHADE TREES), 28 HQSG, 33 IGS, 28 IV, 28 JCSG (126 SMALL SHRUBS)	WAIVER  COMPLIES

**PLANT SCHEDULE**

TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CC	9	CERCIS CANADENSIS	EASTERN REDBUD	2-2 1/2" CAL.	B&B
CCA	9	CARPINUS CAROLINIANA	AMERICAN HORNBEEAM	3" CAL.	B&B
LSR	13	LIQUIDAMBAR STYRACIFLUA 'ROTUNDILOBA'	ROUND-LOBED SEEDLESS SWEET GUM	2.5" CAL.	B&B
OPH	23	QUERCUS PHELLOS	WILLOW OAK	2.5" CAL.	B&B
ZS	9	ZELKOVA SERRATA	ZELKOVA	2.5" CAL.	B&B

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CSK	32	CORNUS SERICEA 'KELSEY'	KELSEY DOGWOOD	15-18"	CONTAINER
DN	24	DEUTZIA GRACILIS 'NIKKO'	SLENDER DEUTZIA	18-24"	CONTAINER
HQSG	28	HYDRANGEA QUERCIFOLIA 'SNOW QUEEN'	SNOW QUEEN OAKLEAF HYDRANGEA	24-30"	CONTAINER
IGS	62	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	24-30"	CONTAINER
IV	28	ITEA VIRGINICA 'HENRY'S GARNET'	HENRY'S GARNET SWEETSPICE	24-30"	CONTAINER
JCSG	28	JUNIPERUS CHINENSIS 'SEA GREEN'	SEA GREEN JUNIPER	24-30" SPRD.	B&B
JHB	114	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPRD.	CONTAINER



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PROJECT No.: PP203085  
 DRAWN BY: JMF  
 CHECKED BY: CND  
 DATE: 04/20/2020  
 CAD I.D.: PP203085 LND-0

**CONDITIONAL USE PLAN SET**

FOR  
**PR EXTON SQUARE PROPERTIES, LP.**

PROPOSED MULTI-FAMILY RESIDENTIAL DEVELOPMENT  
 260 EXTON SQUARE PARKWAY  
 WEST WHITELAND TOWNSHIP  
 CHESTER COUNTY, PA

**BOHLER**  
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**D.T. NORTH**  
 REGISTERED LANDSCAPE ARCHITECT  
 PENNSYLVANIA LICENSE No. LA002729

SHEET TITLE:  
**LANDSCAPE PLAN**

SHEET NUMBER:  
**C-701**

ORG. DATE - 04/20/2020

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