



**WEST WHITELAND TOWNSHIP  
BOARD OF SUPERVISORS  
Agenda  
Wednesday, April 8, 2026  
6:30 p.m.**

[Etiquette for  
hybrid meetings](#)

[Join Zoom Meeting](#)

Meeting ID: 848 4944 7386

Passcode: 871814

One tap mobile +16465588656

**Meeting Packets can be found on Township website**

Reminder to meeting participants: Please speak clearly into the microphone

Call To Order  
Pledge of Allegiance

**ANNOUNCEMENTS:**

The Board of Supervisors met prior to tonight's meeting to discuss matters of personnel and litigation

Join us in celebrating Local Government Week this April:

April 15 – Mock Board of Supervisors Meeting 10:30 AM in the Main Meeting Room

In partnership with local high school civics students, this session will provide a hands-on look at how local government operates.

**PUBLIC COMMENT:** Comments from audience about items not on the agenda

**PRESENTATIONS:**

2026 National Libraries Week - April 19-25, 2026

Employee and Volunteer Recognition

**PLANS:**

1. 1354 Old Pottstown Partners Subdivision Plan

**CONSENT AGENDA:**

1. Approval of March 25, 2026 Minutes
2. Resolution 2026-XX Disposition of Media

**BUSINESS:**

1. Approval of Stormwater Management Facilities Operation & Maintenance Agreements
2. Authorization to Initiate Comprehensive Plan Update Adoption Process and Advertise Public Hearing



3. Appointment of Uniformed Member (Non-Voting) and Alternate Member to the Pension Advisory Board
4. Approval of Township Payment Report for April 8, 2026
5. Township Commission Updates from Board Liaisons
6. Public Works Operations Report
7. Staff Updates

### **Adjournment**

Next Meeting: April 22, 2026

Next Ordinance: 488

Next Resolution: 2026-15

**WEST WHITELAND TOWNSHIP  
RESOLUTION NO. 2026-XX**

**NATIONAL LIBRARY WEEK 2026 PROCLAMATION**

**WHEREAS**, the libraries of the Chester County Library System ignite creativity, foster imagination, and inspire lifelong learning by providing inclusive and welcoming spaces where individuals of all backgrounds have access to the resources and support they need to learn, connect, and thrive; and because *“We All Need Libraries”*; and

**WHEREAS**, these libraries serve individuals at every stage of life—from nurturing early literacy and curiosity in young minds, to empowering job seekers and entrepreneurs with career development tools and training programs, and providing enriching lifelong learning opportunities for adults and seniors—truly embodying the spirit of *“From Story Time to Seniors – A Library for Every Chapter of Life,”* and supporting both personal success and economic growth; and

**WHEREAS**, Chester County’s libraries celebrate the diversity of the community through *“Unique and United – A Tapestry of Stories,”* embracing the voices, experiences, and perspectives of all individuals while strengthening the bonds that unite us through shared learning, cultural enrichment, and mutual understanding; and

**WHEREAS**, through *“Drafting the Sequel – Future-Proofing Our Library with Sustainable Innovation,”* Chester County libraries remain committed to evolving and adapting by leveraging technology, sustainable practices, and forward-thinking initiatives to ensure they continue to serve as vital community hubs for generations to come; and

**WHEREAS**, the member libraries of the Chester County Library System protect the right to read, think, and explore without censorship, standing as champions of intellectual freedom and free expression; and

**WHEREAS**, Chester County’s libraries, including their dedicated staff and volunteers, join library advocates across the nation in celebrating the 68th Annual National Library Week, recognizing the indispensable role libraries play in enriching lives, fostering community connections, and strengthening the fabric of society;

**NOW, THEREFORE, BE IT RESOLVED**, by the Board of Supervisors of West Whiteland Township, Chester County, Commonwealth of Pennsylvania, hereby proclaims its strong support for National Library Week, to be observed April 19–25, 2026, and encourages all residents to visit their local library, explore its vast array of resources, and celebrate the many ways libraries bring people together to learn, grow, and thrive.

**ADOPTED** this 8<sup>th</sup> day of April, 2026.

WEST WHITELAND TOWNSHIP  
BOARD OF SUPERVISORS

\_\_\_\_\_  
Brian Dunn, Chair

ATTEST:

\_\_\_\_\_  
Pam Gural-Bear, Township Manager

\_\_\_\_\_  
Rajesh Kumbhardare, Vice-Chair

\_\_\_\_\_  
Libby Madarasz, Supervisor



# MEMORANDUM

**TO:** Board of Supervisors  
**FROM:** John R. Weller, AICP  
Director of Planning and Zoning  
**SUBJECT:** **1354 Pottstown Pike Subdivision**  
**DATE:** April 3, 2026

---

**APPLICANT:** 1354 Old Pottstown Partners, LLC  
520 Lincoln Ave., Ste. 300  
Downingtown, PA 19335

**SITE ADDRESS:** 1354 Pottstown Pk.  
West Chester, PA 19380

**TAX PARCEL:** 41-8-188

**ZONING:** R-2, Residential

**DESCRIPTION:** Subdivision of a 7.53-acre lot to create seven lots, each to be developed with a single-family detached dwelling.

**EXPIRES:** *April 30, 2026*

---

## **Recommended Motion**

To approve the land development plan entitled "Preliminary/Final Land Development Plan of 1354 Pottstown Pike Subdivision" as depicted on the 20-sheet plan set prepared by Howell Engineering dated April 30, 2023 and most recently revised March 3, 2026 (the "Plan"), subject to the eighteen waivers and conditions herebelow:

1. The Plan is approved as a Final Plan pursuant to §281-10.D of the West Whiteland Township Subdivision and Land Development Ordinance ("S/LDO").
2. Waiver of §270-20.J(2) of the Stormwater Management Ordinance to allow specific elements of the proposed stormwater infiltration facilities to be less than twenty feet from various features of the Plan, pursuant to comment #2 of the Spotts, Stevens and McCoy ("SSM") review dated March 30, 2026.
3. Waiver of §281-31.B of the S/LDO to allow the proposed sidewalks to be not less than four (4) feet wide.
4. Waiver of §281-32.C of the S/LDO to allow the proposed mountable curb as shown in lieu of the vertical curb required by this section.

5. Waiver of §281-35 of S/LDO to the extent necessary to allow the driveway serving Lots 1, 2, and 3 within the area otherwise required to be landscaped as a perimeter buffer, pursuant to comment #2a of the Theurkauf Design and Planning ("Theurkauf") review dated March 17, 2026.
6. Waiver of §281-40.E and §281-44.A(3) of the S/LDO to allow a single driveway to provide access to not more than three (3) dwellings, pursuant to comment #1 of the SSM review dated March 30, 2026.
7. Waiver of §281-41.G of the S/LDO to allow a low-pressure sanitary sewer system.
8. The Plan shall be revised to show that the full width of the cartway of Old Pottstown Pk. abutting the tract shall be restored to the satisfaction of the Township immediately following completion of construction. The cost of such restoration shall be included in the financial security for this project, as required below.
9. If deemed necessary by SSM, the stormwater management provisions shall be revised to resolve the drainage concern noted in comment #2 of the Bowman review dated March 18, 2026, to the satisfaction of the Township.
10. Pursuant to the provisions of §281-34.G(6)(a) of the S/LDO, the Applicant shall make a contribution of not less than \$45,445.00 to the Township Tree Bank in lieu of placing all required compensatory plantings on the project site, pursuant to comment #3b of the Theurkauf review dated March 17, 2026. Said fee shall be paid in full at or before such time that application is made for the first Building Permit for this project.
11. Payment of a fee in lieu of preservation of permanent open space in the amount of \$30,981.86, pursuant to §281-47.B(2) of the S/LDO. Said fee shall be paid in full at or before such time that application is made for the first Building Permit for this project.
12. The sanitary sewer tapping fees for seven EDU's shall be paid in full at or before such time that application is made for the first Building Permit for this project. As noted in comment #2 of the review by Remington & Vernick Engineers ("RVE") dated March 31, 2026, the fee is \$5,300/EDU for a total amount due of \$37,100.00.
13. A draft version of the Homeowners' Association agreement shall be provided to the Township prior to the recording of the Plan.
14. Execution and recording of the Township's Stormwater Management Facilities Maintenance Agreement and Landscaping Restrictive Covenant, pursuant to Township practice. If the Applicant makes no material revisions or additions to the standard form of the said documents, then the Township Manager is hereby authorized to sign these forms on behalf of the Township. The Plan shall not be recorded until these documents have been completed and executed by the Applicant or the Applicant's successor in interest.
15. Execution of a Developer Agreement and a Financial Security Agreement pursuant to Township practice. The amount of such security shall be based upon construction cost estimates for the site improvements, including landscaping, to be provided by the Applicant; these estimates shall be reviewed and deemed sufficient by SSM and Theurkauf. If the Applicant makes no material revisions or additions to the standard form of the said agreements, then the Township Manager is hereby authorized to sign these forms on behalf of the Township. The Plan shall not be recorded until these documents have been completed and executed by the Applicant or the Applicant's successor in interest.

16. Execution of an Operation and Maintenance agreement ("O&M") satisfactory to the Township regarding the proposed grinder pump systems, pursuant to comment #17 of the RVE review dated March 31, 2026. At a minimum, the O&M shall state that the Township is not responsible for any maintenance of these systems or for maintaining any supply of replacement parts for these systems. The Plan shall not be recorded until this document has been completed and executed by the Applicant or the Applicant's successor in interest.
17. All remaining consultant and Staff concerns shall be resolved to the satisfaction of the Township.
18. Payment of all outstanding Township invoices within 45 days of the date of Final Plan approval by the Board of Supervisors.

### **Background**

The subject property occupies the northern part of the area between Pottstown Pk. and Old Pottstown Pk. near the Banbury community and across from Hollow Run apartments. The site is vacant and largely wooded. The center of the lot has significant prohibitive slopes (25% and steeper), and there is a small floodplain area at the northern tip.

On October 11, 2017, the Board of Supervisors granted preliminary plan approval to Sunshine Management to divide the property into seven lots for single-family homes. The Applicant received several extensions to the one-year period within which they were required<sup>1</sup> to submit a final plan, but the Board rejected<sup>2</sup> their fifth such request, determining that it was no longer in the Township's interest to continue. The current plan is substantially similar to the old Sunshine plan, but since that approval expired it was considered a new plan when the current Applicant submitted it for review.

The Applicant presented this plan to the Planning Commission as a sketch plan for informal discussion on January 5, 2023. Formal submission of the preliminary/final plan followed shortly thereafter, and the Commission reviewed that plan at meetings on June 6 and August 1, 2023. Following the discussion at the August meeting, the Commission unanimously passed a motion recommending Board approval of the plan, including support for several waivers and subject to various conditions. The above Recommended Motion includes all of these, except for a condition that we be in receipt of documentation of approval of the sanitary sewer system by the Pennsylvania Department of Environmental Protection ("DEP") prior to final plan approval. We received such documentation in the form of a letter from DEP, dated November 13, 2024, thereby satisfying this condition. Based upon our consultants' comments, Staff has also added several conditions to what the Planning Commission recommended; we have also updated the dates of the consultants' reviews to indicate the most recent versions.

Tonight is the first presentation of the final subdivision plan to the Board. We note that it has been an unusually long time since the Planning Commission made their recommendation. This

---

<sup>1</sup> By §281-11 of the West Whiteland Township Subdivision and Land Development Ordinance ("S/LDO").

<sup>2</sup> Correspondence dated April 1, 2022.

is principally due to issues regarding the design of the sanitary sewer system and the need for the Applicant to prepare sewage facility planning modules for this project.

### **Consultant Reviews**

- **SSM review dated March 30, 2026.** Comments #1 through #4 review requested waivers. SSM does not object to any of them but defers to Theurkauf for the two related to landscaping.

Most of the remaining comments are minor issues, such as the provision of additional information and details on various drawing sheets, the reconciliation of discrepancies between the Plan and supporting documentation or among the Plan sheets, and a few minor revisions (comments #14 and #23). There are no concerns about the functionality of the design.

Comment #11 notes that the Applicant is required to pay a fee in lieu of setting aside permanent open space. Payment of this fee is included above in the Recommended Motion.

Comment #35 advises that the Plan not be approved until DEP has approved the sanitary sewer provisions and we have established the Applicant's responsibility to restore Old Pottstown Pk. upon completion of construction. As noted above, we received the DEP approval letter in November 2024. Sheet 4 of the plan shows that the Applicant intends to restore the northbound side of Old Pottstown Pk. This is not acceptable; the Recommended Motion includes a condition that the plan be revised to show that the entire width of the cartway abutting the tract is to be restored to the satisfaction of the Township.

- **RVE review dated March 31, 2026.** Most of the review documents satisfactory resolution of prior concerns about the design of the proposed sanitary sewer system. As noted above, this was an especially difficult aspect of the design. The Plan shows that each of the new homes will be served by public sewerage through the West Goshen treatment facility. The topography of the site and the placement of the existing sewer mains are such that gravity connection is not possible, so the connection will require each home to have a grinder pump with connections to a new force main along Old Pottstown Pk.

Comment #10 directs a minor design revision, and comment #17 notes the need for an Operations and Maintenance Agreement for the proposed grinder pump systems. The latter is the reason that RVE does not support approval at this time, but Staff has contacted RVE on this matter, and they agree that this may be a condition of approval, so we have included it in the Recommended Motion.

- **Theurkauf review dated March 17, 2026.** Most of the review documents that prior landscaping concerns have been resolved. Comment #1 notes that the Applicant is requesting a waiver to allow the sidewalk shown along Old Pottstown Pk. to be four feet wide rather than five. The Planning Commission supported this waiver, noting that there would not be a high volume of pedestrians here and that constructing the wider sidewalk would significantly increase the disturbance of regulated steep slopes. Staff agrees, and the waiver is included in the Recommended Motion.

Comment #2 concludes that the proposed landscaped buffers comply with our requirements, with the exception of the buffer along the southern edge of the tract, which cannot be provided since this is best location for the shared driveway serving Lots 1, 2, and 3. The Planning Commission and Staff agree, and the necessary waiver is included in the Recommended Motion.

The Applicant has requested a waiver from the compensatory planting requirement. Comment #3 notes that the S/LDO provides options for satisfying this requirement where all required trees cannot be accommodated on the site. Theurkauf therefore does not support this waiver but advises the Township to provide guidance on which option we prefer. Staff agrees; we do not object to any of the three alternatives, but our preference is that the Applicant contribute \$45,445.00 to our tree bank, so we have included that as a condition of approval in the Recommended Motion. If the Board prefers another option, you will be able to make that change at the meeting.

- **Bowman review dated March 18, 2026.** Comment #1 notes that the mountable (or rolled) curb proposed along the Old Pottstown Pk. frontage requires a waiver. The Planning Commission was agreeable to this, and the waiver is included in the Recommended Motion.

Comment #2 suggests that the stormwater drainage provisions along Old Pottstown Pk. may not be adequate. Staff has asked SSM to advise on this matter. At this writing, we have yet to receive their response, but we will be prepared to address this issue at the meeting. A condition to address this concern is included in the Recommended Motion.

Comment #3 directs additional details and signage for the proposed mid-block pedestrian crossing to Banbury Park, and comment #4 advises that this project is not subject to payment of a traffic impact fee.

- **Chester County Planning Commission review dated June 2, 2023.** The County advises that the plan is consistent with the County Comprehensive Plan. They also address various design issues (shared driveway, sidewalk, access to Banbury Park, natural resource protection), all of which have been noted by our consultants.

### **Staff Comment**

Staff is satisfied with the design of the proposed development. While our consultants have identified a variety of outstanding issues, three are of particular concern to us:

- General Note #35 on Sheet 1 of the plan set indicates that there will be a Homeowners' Association ("HOA") for this community. We agree that an HOA is appropriate, but the Applicant should provide a copy of the HOA agreement – including a clear statement of what elements the HOA will be responsible for – for Township review. We note that General Note #30 states that the stormwater management facilities will be the responsibility of the individual lot owners, which is reasonable given the design of the systems. However, it may be more efficient for the HOA to be responsible for the inspections and reporting required by our Stormwater Management Facilities Maintenance Agreement.
- Similarly, a draft version of the O&M described in comment #17 of the RVE review should be provided for Township review.

- Our recommendation that the Applicant restore the full width of Old Pottstown Pk. is a fairly significant change from the Applicant's perspective. The Board should confirm that the Applicant is agreeable to this prior to acting on the Plan.

If the Applicant can address these concerns to the satisfaction of the Board, and if the Applicant is agreeable to the conditions listed in the Recommended Motion (including the requirement to resolve to our satisfaction all remaining consultant concerns, regardless of whether they are specifically cited in the motion), then Staff has no objection to Board action on the Recommended Motion tonight.

***PLEASE NOTE: Tonight is the last Board meeting before the plan review period expires. Should the Board choose not to act on this plan tonight, it will be necessary to secure an extension from the Applicant to avoid a deemed approval.***

### **Attachments**

1. SSM review dated March 30, 2026.
2. RVE review dated March 31, 2026.
3. Theurkauf review dated March 17, 2026.
4. Bowman review dated March 18, 2026.
5. Chester County Planning Commission review dated June 2, 2023.
6. Plan set prepared by Howell Engineering, dated April 30, 2023 and most recently revised March 3, 2026.

Plans\RST\Sunshine\BOS memo - 260403



March 30, 2026

Mr. John R. Weller, AICP  
Director of Planning and Zoning  
West Whiteland Township  
101 Commerce Drive  
Exton, PA 19341

RE: 1354 Pottstown Pike Subdivision  
Preliminary/Final Application  
SSM File 101008.0293

Dear Mr. Weller:

We have reviewed the above referenced submission, consisting of the following:

- 1354 Pottstown Pike Subdivision Preliminary /Final Plans (20 Sheets), prepared by Howell Engineering, Howell Project No. 4689, dated April 30, 2023, last revised March 3, 2026;
- Waiver Request Letter, prepared by Howell Engineering, dated July 10, 2023, last revised March 3, 2026;
- 1354 Pottstown Pike Stormwater Management Report, prepared by Howell Engineering, dated April 26, 2023, last revised March 3, 2026;
- 1354 Pottstown Pike Erosion and Sediment Control Plan (e.g., Report), prepared by Howell Engineering, dated Jul 13, 2023, last revised January 12, 2024;
- NPDES Individual Permit No. PAD150317 Approval, issued by the PA DEP, dated May 23, 2024, expires May 22, 2029;
- General Permit (GP-5 / Permit No. GP051501226-002) Approval, issued by the Pennsylvania Department of Environmental Protection (PA DEP), dated February 5 2026;
- Act 537 Sewage Facilities Planning Module Approval, prepared by the PA DEP, dated November 13, 2024;
- Water Quality Management General Permit (WQG-02) for Sewer Extensions and Pump Stations Approval (Permit No. WQG02152504), prepared by PA DEP, dated November 7, 2025;
- Highway Occupancy Permit (HOP / Permit No. 06115100) Approval, issued by the Pennsylvania Department of Transportation (PennDOT), dated June 2, 2023, expires June 2, 2026;
- Response Letter to SSM's July 25, 2023 Review, prepared by Howell Engineering, dated March 3, 2026;
- Response Letter to McMahon's (i.e., Bowman) July 26, 2023 Review, prepared by Howell Engineering, dated March 3, 2026;



- Response Letter to Carroll Engineering Co.’s July 28, 2023 Review, prepared by Howell Engineering, dated March 3, 2026;
- Response Letter to Theurkauf Design and Planning’s July 14, 2024 Review, prepared by Howell Engineering, dated March 3, 2026;
- Planned Community Declarations of “1354 Old Pottstown Pike” prepared by 1354 Old Pottstown Partners, LLC; and
- Declaration of Easements for Driveway and Utilities, prepared by 1354 Old Pottstown Partners, LLC.

The applicant is proposing seven single-family detached homes between Pottstown Pike and Old Pottstown Pike just north of Waterwillow Road. Driveways are proposed to access Old Pottstown Pike. The site involves Tax Parcel 41-8-188 (the property), zoned R2 – Residential District.

Issues regarding landscaping and buffering, traffic and sanitary sewer will be addressed by Theurkauf Design and Planning, Bowman, and Remington & Vernick Engineers (RVE), respectively.

We have the following comments:

## WAIVERS

1. Section 281-40.E – A waiver is requested to permit three homes be served by a single driveway, when typically a single drive can serve no more than two homes.

We have no objection to this request so long as a shared driveway agreement is established over the shared driveway and such agreement is reviewed to the satisfaction of the Township.

2. Section 270-20.J(2) – A waiver is requested to permit infiltration less than 20-ft from a building, property lines, and right-of-way lines, when typically a minimum 20-ft separation is required for each of these items.

The plans shall be revised to request a waiver from Section 270-20.J(2) in lieu of “-20.K(2)”. Additionally, the waiver request shall clarify all of the proposed minimum offsets which are less than 20-ft on the plans.

We note the following:

- BMP No.1 on Lot No.1 appears to be 16-ft from the ultimate right-of-way line and be 13-ft± from the proposed dwelling.
- BMP No.2 on Lot No.2 appears to be 10-ft from a side property line with Lot No.1 and be 11.5-ft± from the proposed dwelling.
- BMP No.3 on Lot No.3 appears to be 7-ft± and 8-ft± from side property lines along the pole portion of the flag lot.
- BMP No.3A on Lot No. 3 appears to be 5.5-ft± from a side property line with Lot No.2.
- BMP No.4 on Lot No.4 appears to be 0-ft from the ultimate right-of-way line; 0-ft± from a side property line with Lot No.5; and be 13-ft± from the proposed dwelling.



- BMP No.5 on Lot No.5 appears to be 0-ft from the ultimate right-of-way line and 0-ft± from a side property line with Lot No.6.
- BMP No. 6 on Lot 6 appears to be 12-ft± from the ultimate right-of-way line and 8.5-ft± from a side property line with Lot No.7.
- BMP No.7 on Lot 7 appears to be 12-ft± from a property line.

We note that the stormwater design was approved by the PA DEP; therefore, we have no objection to this request.

3. Section 281-34.G(3) – A waiver is requested to not provide 149 Compensatory Trees, when they would typically be required.

We defer to Theurkauf Design and Planning regarding this request.

4. Section 281-35.E(3)(a) – A waiver is requested to allow the proposed driveway within a required perimeter buffer.

We defer to Theurkauf Design and Planning regarding this request.

## **COMPLIANCE WITH SUBDIVISION AND LAND DEVELOPMENT ORDINANCE**

5. Final approval shall be subject to the provisions of Article V, Construction and Acceptance of Improvements, including the requirement to execute a financial security agreement and a developer agreement. Where landscaping is to be provided in order to fulfill the requirements of this chapter, the Township may require execution of a landscaping restrictive covenant, Section 281-11.E.
6. The plans are currently all sealed by a Professional Engineer (PE). The subdivision plan shall be sealed by a Professional Land Surveyor (PLS), Section 281-16.B(4), prior to recording.
7. All applicable certifications on sheet 1 shall be signed by the applicant and the design engineer before the Township endorses the plan, Sections 281-16.B(9) and 281-16.B(10)(a).
8. An easement agreement between Lots 1, 2 and 3 for the shared driveway shall be prepared in a form capable of recordation and submitted to the Township for review and approval, Section 281-16.D(7). We defer to the Township Solicitor if this agreement is acceptable. The shared driveway agreement shall be recorded concurrently with the plans.
9. General Note 19 on the Cover Sheet states that public water will be provided by Aqua Pennsylvania. The Applicant shall provide evidence that Aqua Pennsylvania will serve the subdivision, Section 281-42.D. The response letter noted a “Will Serve” letter from Aqua was provided with the resubmission; however, we have not received such letter.
10. Concrete property boundary and street monuments shall be provided in accordance with Section 281-46.A. Two additional concrete markers shall be established along the ultimate right-of-way near the “point” of Lot 7 at the points of curvature at the intersection of Old Pottstown Pike and Pottstown Pike.
11. A recreation fee will be required, Section 281-47.B.
12. An improvements agreement and guarantee are required, Section 281-54. An Engineer’s Probable Cost Estimate shall be provided for consideration.



## COMPLIANCE WITH STORMWATER MANAGEMENT ORDINANCE

13. The Applicant shall post financial security to the Township for the timely installation and proper construction of all stormwater management facilities, Section 270-10.
14. Where storm sewer pipe and inlets are required, they shall be placed immediately in front of the curb within the right-of-way, Section 270-29.E(1). Portions of the proposed storm sewer in Old Pottstown Pike are behind/under the curb. Manholes and/or inlets shall be provided such that the storm sewer is in front of the curb.
15. All storm sewer utilities beneath a paved surface shall be bedded and backfilled with PennDOT No. 2A stone. This backfill shall be placed in six-inch lifts and solidly compacted to the satisfaction of the Township, Section 270-29.E(4). A bedding and backfill detail in compliance with section shall be added to the plans.
16. The flow paths used for calculating the time of concentration for the predevelopment and post development conditions shall be shown on the Pre-Post SWM Drainage Area Plan, Section 270-32.B(14).
17. A Stormwater Operation and Maintenance Agreement shall be provided for each individual lot, and shall be substantially the same as the agreement in Appendix E, Section 270-43(1). Copies of the agreements shall be submitted to the Township for review prior to recording, Section 270-43(5).
18. The Owner's Certification of Section 270-32.A(3) and the Design Engineer's Certification of Section 270-32.A(4) shall be signed before the Township endorses the plan.
19. The storm sewer calculations shall be revised to reflect the information shown on the profile drawings. The structure report elevations in the Stormwater Manual shall match the profiles on the plans.
20. We previously noted, "*Design calculations shall be provided for the yard drains on Lots 1, 4 and 6 taking into account the tailwater elevation in the receiving infiltration beds. In addition, grate elevation, inverts and pipe lengths shall be noted on the drawings for these storm sewer systems.*" Calculations have been provided and the response notes that the elevations have been provided on Drawing No. C03.1, Sheet #04. However, the elevations are not shown on this drawing. We recommend that profiles of the individual on lot storm sewers be provided. Until this information has been provided we cannot confirm the accuracy of this portion of the design.
21. We previously noted, "*Collection efficiency calculations shall be provided for the proposed Lot 1 driveway slot drain to ensure the driveway runoff reaching the slot drain is collected and directed into the infiltration bed.*" The response letter indicates that the requested calculations have been provided in the Stormwater Report; however, we were not able to locate the calculations.
22. We previously noted, "*Additional proposed grading and/or spot elevations shall be provided to ensure the design drainage area to Bed #3B will reach and enter the yard drain, including a berm to pond water above the drain.*" Additional information has been provided, however, the spillway (berm) elevation for Infiltration Bed 3B shown on Sheet 5 is lower than the inlet Top of Grate Elevation shown on the detail on Sheet 7.
23. As currently oriented, the 2'x4' outlet structures for Beds #1, #4, #5 and #6 do not provide sufficient room to access the structure for maintenance. If the wall is centered in the structure there is only 9" on each side of the wall. In addition, all inflow pipes from the beds must be oriented upstream of the



outflow weir. Additionally, if the same box is used, but rotated, the stage/discharge parameters for the outlet structures shall be revised.

24. As previously requested, a bar guard detail has been provided; however, it does not but must identify where it applies.
25. A construction detail for the infiltration bed spillways (cross section) shall be provided.
26. The Vegetated Channel detail now notes a typical 1' bottom width, 1' depth, and 3:1 side slopes; however, the design computations note 30:1 side slopes. The following items shall be addressed:
  - a. The calculations and detail shall be consistent.
  - b. The location of each channel in the design computations shall be noted on the PCSM Plan.
  - c. The 1' bottom width is too small. A minimum of 2' should be used to allow for mowing.
  - d. Calculations shall be submitted for the "BMP 008 proposed channel."
27. The plans contain conflicting information regarding yard inlets and sumps. The following shall be resolved:
  - a. The slot drain detail on Sheet 9 indicates that the inlet downstream shall have a 1' sump.
  - b. The 24" x 24" yard drain detail on Sheet 7 indicates that there shall be a 2' sump on all yard inlets.
  - c. Sump elevations are not but shall be shown on the profiles.
  - d. The plans shall clearly identify only those yard drains that shall be sumped inlets. We recommend that this be done by a list to avoid confusion. O&M procedures shall be included on the PCSM plan.
28. The Operation and Maintenance Procedures notes on Sheet 5 for the Flex Storm Pure Water Quality inlets refer to hood devices and inlet sumps; however, there are no hood devices proposed in any of the structures. The O&M notes shall be revised and these specific notes shall be specific to the Flex Storm Pure Water Quality devices.
29. The specification notes for BMP 6.4.6 Infiltration Bed on Sheet 7 for the infiltration beds refer to sumped Type M inlets; however, the outlet structures (type M inlets) are not noted to be sumped. The O&M notes shall be revised.
30. The "Bubble Up Spreader" shall be labelled in plan view on Sheets 4, 5 and 10.
31. Yard drains not within the footprint of infiltration beds shall be labelled with an individual identifier. Yard drains without identifiers are shown on Lots 2, 5 and 7.

## GENERAL COMMENTS

32. Top and bottom of wall elevations shall be provided on the Grading & Utilities Plan for the proposed retaining wall on Lot 1.
33. The "Standard Rolled Curb" detail on Sheet 15A shall be removed.
34. The driveway paving sections shall specify standard Superpave mix design.
35. We recommend that the Final Plan not be approved by the Township until the sanitary sewer aspects are approved by PaDEP and the extent of improvements to Old Pottstown Pike are resolved.



36. Iron pins, or concrete markers, shall be established along the driveway easement to formally establish its location.
37. Legal descriptions shall be provided for all right-of-way areas offered for dedication to the Township. Additionally, the plans shall note that right-of-way areas offered for dedication shall remain privately owned until they are formally accepted via Resolution by the Board of Supervisors.
38. The cover sheet shall note all items offered for dedication to the Township.
39. The plans shall note that a West Whiteland Township Street Occupancy Permit is required prior to any work being performed within the Township's right-of-way.
40. The plans shall indicate the limit of proposed street restoration within the Township's right-of-way.
41. There are numerous instances within notes, construction sequences and details in which the word should has been used. These instances are directives and words such as "should" or "may" shall be replaced with "shall" or "must". This includes standard notes and details required by other agencies. As a minimum, we have found instances of the word "should" on Sheets 5, 7, 9, 11, 17 and 18.

We respectfully request for ease of review that the responses indicate the sheet number(s) and/or report page (pdf page is sufficient) numbers corresponding to the changes that have been made.

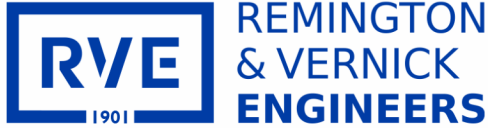
If you have any questions please feel free to call me.

Sincerely,  
Spotts, Stevens and McCoy

A handwritten signature in blue ink, appearing to read "Kent D. Morey", is written over a light blue horizontal line.

Kent D. Morey, P.E., CBLP  
Senior Engineer  
[kent.morey@ssmgroup.com](mailto:kent.morey@ssmgroup.com)

cc: Nick Szeredai, P.E.



Croton Road Corporate Center  
555 Croton Road, Suite 401  
King of Prussia, PA 19406  
O: (610) 940-1050  
F: (610) 940-1161

March 31, 2026

Mr. Pamela Gural-Bear  
Township Manager  
West Whiteland Township  
101 Commerce Drive  
Exton, PA 19341

**Re: 1354 Pottstown Pike Subdivision - Review #4  
West Whiteland Township  
RVE File# PCWNP008**

Dear Pamela:

**Remington & Vernick Engineers (RVE)**, on behalf of the West Whiteland Township, has reviewed the following submission materials in connection with 1354 Pottstown Pike Subdivision Development.

- 1354 Pottstown Pike Subdivision Plan Drawing, 1354 Pottstown Pike, 1 Sheet, prepared by Howell Engineering with a last revision date of March 3<sup>rd</sup>, 2026.

## I. GENERAL INFORMATION

Developer: 1354 Old Pottstown Partners, LLC  
520 Lincoln Ave, Suite 300  
Downingtown, PA 19335  
(484) 514-9990

Owner: 1354 Old Pottstown Partners, LLC  
520 Lincoln Ave, Suite 300  
Downingtown, PA 19335  
(484) 514-9990

Engineering Firm: Evans Mill Environmental, LLC  
PO Box 735  
101 Fellowship Road  
Uwchland, PA 19480-0735  
(610) 458-8300

Proposal: The proposed development consists of subdividing and existing lot into seven (7) lots and the construction of seven (7) single family homes.

## II. COMMENTS

Upon review of this submission, RVE has the following comments. Any underlined comments must be addressed by the Engineer prior to our recommendation for approval by the Township.

1. Please provide the names and contact information of both the project Owner and Developer. *The names and contact information of both the Project Owner and Developer can be found on Drawing C01.1, Sheet #1. Item satisfied.*
2. The applicant is required to acquire an allocation for seven (7) Sewer EDU's. This value is calculated based off the estimated flow along with West Whiteland Township's definition of 232 GPD/EDU (Sewer). At the Township's current rate of \$5,300.00 per EDU, the total tapping fees would be \$37,100.00. *Comment acknowledged. Item satisfied.*
3. In the General Information Form (GIF), page 7, question 8.0, the Estimated Proposed Flow is not filled in. *The estimated flow was added to question 8.0 on page 7. The revised WQM permit application is attached. Item satisfied.*
4. In the General Information Form (GIF), page 7, question 9.0, the question should be answered "Yes". *Question 9 was answered "Yes". Item satisfied.*
5. In the Water Quality Management General Permit for Sewer Extensions and Pump Stations Notice of Intent, page 2, identify all environmental quality permits (earth disturbance, NPDES, etc). issued or applied for as part of this project. *The environmental permits for the project were identified on page 2 of the NOI. Item satisfied.*
6. In the Water Quality Management General Permit for Sewer Extensions and Pump Stations Sewer Extension Information, page 1, part 6.a, the flow is stated to be based on 275 gpd/EDU however the Townships standard is 232 gpd/EDU. Please explain/clarify the discrepancy. *The sewage will be treated in West Goshen Twp, who uses 275 gpd/EDU. During the planning phase of the project as confirmed in the DEP planning approval letter (enclosed in the WQM permit application) the flow was projected as 1,925 gpd base on 7 units at 275 gpd/EDU. Item satisfied.*
7. In the Design Engineer's Report, it states that the flow was calculated using 275 gpd/EDU. See comment #6 above. *See response to comment #6 above. Item satisfied.*
8. The letter included with the package dated December 12, 2024 from Joseph Speese of Site Specific Design states "Good installation practices suggest that valves and flushing connections, generally located at the terminal end of each main, at intersections, and at any sharp changes in direction, be installed." On the Plans, a terminal end flushing connection is provided but no inline flushing connections anywhere along the route. Consult with the manufacturer and provide additional force main flushing connections per their recommendations. *We contacted Anthony DiRusso at Site Specific Design and review the plan and profile of the force main with him. It was recommended that a cleanout be provided at the low point of the main near Station 10+50. A cleanout was added to the plans and is shown on Drawing No. 6.2 Sheet 14 of 19. Item satisfied.*
9. On Drawing No. C03.1, Sheet 4 of 19 (Grading & Utilities Plan), on the Sewer Connection enlarged plan, the force main is not shown connected to the sanitary manhole and the callout note "Inv. In Force Main EL.=429.38" lacks an arrow. Existing sanitary sewer main serving the manhole is identified as "8" Steel" whereas the callout note identifies it as PVC. Revise. *The Sewer Connection enlarged plan has been revised to show the connection to the sanitary manhole. An arrow has been added to the callout note and the existing sanitary sewer main serving the manhole has been revised to 8" Steel. Please see Drawing No. C03.1, Sheet #4. Item satisfied.*

10. On Drawing No. C03.1, Sheet 4 of 19 (Grading & Utilities Plan), Sewer lateral size and materials from house to grinder pump and from grinder pump to force main are not called out. *The sewer lateral size and materials from house to grinder pump and from grinder pump to force main have been called out on Drawing No. C03.1, Sheet #4. Drawing shows pipe from house to grinder pump called out as 1-1/4". This is appropriate for the discharge coming out of the grinder pump, but not for the gravity sewer lateral entering the grinder pump from the house. Revise house laterals to 6-inches and show a detail.*
11. On Drawing No. C03.1, Sheet 4 of 9 (Grading & Utilities Plan), no cleanouts are shown on the sewer laterals between the homes and the grinder pump. Provide along with a detail. *Cleanouts have been provided on the sewer laterals between the homes and the grinder pumps. Please see Drawing No. C03.1, Sheet #4. A cleanout detail has been provided on Drawing No. C07.2, Sheet #18. Item satisfied.*
12. On Drawing No. C03.1, Sheet 4 of 9 (Grading & Utilities Plan), Sewer force main size and materials are not called out. *The Sewer force main size and materials have been called out on Drawing No. C03.1, Sheet #4. Item satisfied.*
13. On Drawing No. C03.1, Sheet 4 of 9 (Grading & Utilities Plan), on the Legend. Grinder Pump symbol is not defined. *The Grinder Pump symbol has been defined on the Legend. Please see Drawing No. C03.1, Sheet #4. Item satisfied.*
14. On Drawing No. C06.1 sheet 13 of 19 (Profile Sheet), Sewer force main material of construction is not called out. *The sewer force main material of construction has been called out on Drawing No. C06.1, Sheet #13. Item satisfied.*
15. The topography of the site does not seem to preclude the installation of typical gravity collection of sanitary sewage. The applicant should consider installation of gravity collection in place of low pressure systems. In the event that this proposal is not feasible, the applicant should explain the limitations to this proposal. *Applicant should consider and connect as many homes as possible via gravity connections. Several properties #1-3 appear to be able to connect via gravity toward the rear of the project along Pottstown Pike. Item satisfied.*
16. *Applicant should describe how minimum forcemain velocities of 2 ft/second are maintained during single pump operation within the 2" shared forcemain. Item addressed via RVE discussions with Site Specific Design and via the submitted revised plan. Item satisfied.*
17. *The Applicant must execute an Operation and Maintenance Agreement for the Grinder Pump System with the Township. Applicant must acknowledge understanding of this requirement to be completed during building permit acquisition.*

Accordingly, all engineering concerns have not been satisfied. Therefore, we are not recommending approval for this project until all comments are addressed. Should you have any questions, please feel free to contact our office at (610) 940-1050.

Sincerely,

**REMINGTON & VERNICK ENGINEERS**

By

A handwritten signature in blue ink, appearing to read "James Bulicki".

James Bulicki, P.E., Associate  
Township Sewer Engineer

JB/er

cc: Daniel R. Hudson, P.E., Evans Mill Environmental, LLC  
John Weller, West Whiteland Township, Director of Planning & Zoning/Zoning Officer (via e-mail)  
Patrick Gorman, AICP, PP, Planner  
Carol Zindel, West Whiteland Township, Operations Assistant (via e-mail)  
Christopher J. Fazio, P.E., C.M.E., Executive Vice President  
Owen Hyne, P.E., C.E.A., Senior Associate  
Eric Rauch, P.E.



MEMORANDUM

TO: John Weller, AICP, West Whiteland Township Director of Planning and Zoning  
Patrick Gorman, AICP, West Whiteland Township Assistant Planner  
Justin W. Brewer, P.E., Howell Engineering  
Patrick J. Stuart, RLA, ASLA, MCRP, Stuart & Associates, LLC

FROM: Edward A. Theurkauf, RLA, ASLA, APA  
Celia E. Winters, ASLA, MLA

DATE: March 17, 2026

SUBJECT: **REVIEW COMMENTS – 1354 POTTSTOWN PIKE SUBDIVISION**  
**PRELIMINARY/FINAL PLAN DATED 3-3-26**

Please note our review comments pertaining to the following documents that we received on 3-5-26:

- Land Development Plan consisting of 20 sheets;
- Response letter from Patrick Stuart dated 3-3-26; and
- Waiver request letter from Justin Brewer dated 3-3-26.

**Issues that have been addressed are so noted. New comments are in bold.**

**REVIEW COMMENTS – 1354 POTTSTOWN PIKE SUBDIVISION  
PRELIMINARY/FINAL PLAN DATED 3-3-26**

March 17, 2026

1. Sidewalks – Section 281-321.A of the subdivision and land development ordinance (SLDO) requires minimum 5-foot sidewalks at all new developments. The plan indicates a 4-foot-wide sidewalk **with 5-foot-wide passing areas every 200 feet** that extends along Old Pottstown Pike from the Lot 7 driveway to the south tract boundary. The following shall be considered:
  - a. Sidewalk Width – **A waiver would be necessary to accommodate the proposed 4-foot-wide sidewalk. We defer to the Township on the acceptability of this.**
  - b. Old Pottstown Pike Sidewalk – We find the proposed sidewalk alignment to be adequate.
  - c. Pottstown Pike Sidewalk – No sidewalk is proposed along the Pottstown Pike frontage. We find this to be acceptable.
  
2. Perimeter Buffer – Section 281-35 (SLDO) requires 25-foot wide perimeter buffers along tract boundaries and along the higher classified road on reverse frontage residential lots. Plantings per section 281-35.E.3 (SLDO) are required and proposed as follows:

| <u>Buffer/ Length</u>            | <u>Plant Type</u> | <u>Required</u> | <u>Proposed</u> |
|----------------------------------|-------------------|-----------------|-----------------|
| South Boundary/ 360 LF           | Shade Tree        | 4               | 5               |
|                                  | Evergreen Tree    | 7               | 27              |
|                                  | Small Shrub       | 36              | 18              |
| Pottstown Pike/ 185 LF*<br>Lot 3 | Shade Tree        | 2               | **              |
|                                  | Evergreen Tree    | 4               | 4               |
|                                  | Small Shrub       | 18              | 9               |
| Pottstown Pike/ 100 LF*<br>Lot 5 | Shade Tree        | 1               | 1               |
|                                  | Evergreen Tree    | 2               | 8               |
|                                  | Small Shrub       | 10              | 3               |
| Pottstown Pike/ 110 LF*<br>Lot 6 | Shade Tree        | 1               | 12              |
|                                  | Evergreen Tree    | 2               | 2               |
|                                  | Small Shrub       | 11              | 6               |
| Pottstown Pike/ 290 LF<br>Lot 7  | Shade Tree        | 3               | 8               |
|                                  | Evergreen Tree    | 6               | 7               |
|                                  | Small Shrub       | 29              | 16              |

\* Length of proposed disturbance

\*\* Requirement met by existing vegetation to remain.

**REVIEW COMMENTS – 1354 POTTSTOWN PIKE SUBDIVISION  
PRELIMINARY/FINAL PLAN DATED 3-3-26**

March 17, 2026

- a. South Buffer – Surplus evergreen tree plantings provide substantial visual buffering over that which is required by ordinance. **We support the waiver request for the proposed driveway to be within the 25 foot buffer due to the limited space on site.**
  - b. Pottstown Pike Lot 3 Buffer – **The plan has been revised for compliance. This issue has been resolved.**
  - c. Pottstown Pike Lot 5 Buffer – Surplus evergreen tree plantings and vegetation to remain provide substantial visual buffering over that which is required by ordinance. Proposed buffer landscaping is sufficient.
  - d. Pottstown Pike Lot 6 Buffer – Surplus tree plantings and topography provide substantial visual buffering over that which is required by ordinance. Proposed buffer landscaping is sufficient.
  - e. Pottstown Pike Lot 7 Buffer – **Based on the provision of surplus evergreen and deciduous trees, the plan complies with requirements.**
3. Compensatory Plantings – Section 281-34.G (SLDO) requires mitigation for mature trees that are removed as follows:

2-inch caliper Compensatory Trees Required: 302

Proposed trees applied to the compensatory requirement are as follows:

| <u>Plant Type</u>  | <u>Quantity</u> | <u>Equiv. Compensatory Trees</u> |
|--|-----------------|----------------------------------|
| Shade Trees, 2-inch cal.                                   | <b>87</b>       | <b>87</b>                        |
| Evergreen trees, 7-foot                                    | <b>66</b>       | <b>66</b>                        |
| <b>Total Equivalent 2-inch Compensatory Trees Proposed</b> |                 | <b>153</b>                       |

- a. Woodland to Remain – **The plan has been revised to define limits of clearing. This issue has been resolved.**
- b. Compensatory Planting Requirement – A waiver is requested to not provide the additional **(149)** required compensatory plantings.

To the extent that required trees cannot be placed on site, section 281-34.G.6.a (SLDO) provides the following alternatives:

**REVIEW COMMENTS – 1354 POTTSTOWN PIKE SUBDIVISION  
PRELIMINARY/FINAL PLAN DATED 3-3-26**

March 17, 2026

- Proposing trees on public land within the Township;
- Contributing the value of the uninstalled required trees to the Township's fund for plantings on public lands (**\$45,445.00**); or
- Planting a lesser quantity of larger or more valuable trees of equivalent value to the compensatory planting requirement.

The Township shall consider how the remaining compensatory planting obligation is to be met, or the extent to which a waiver is justified.

4. Tree Protection – This issue has been resolved.
5. Species Mix Requirements – This issue has been resolved.
6. Plant Cultural Requirements – This issue has been resolved.
7. Plant Availability – This issue has been resolved.
8. Cost Estimate – **A revised cost estimate is required upon final approval.**
9. Landscape Guarantee – This issue has been resolved.
10. **Conclusion – The following shall be resolved prior to plan approval:**
  - **Sidewalk waiver request**
  - **Compensatory planting**

March 18, 2026

Mr. John R. Weller, AICP  
Director of Planning & Zoning / Zoning Officer  
West Whiteland Township  
101 Commerce Drive  
Exton, PA 19341

RE: Traffic Engineering Review  
1354 Pottstown Pike Residential Subdivision  
West Whiteland Township, Chester County, PA  
Project Number 313493-01-001

Dear Mr. Weller:

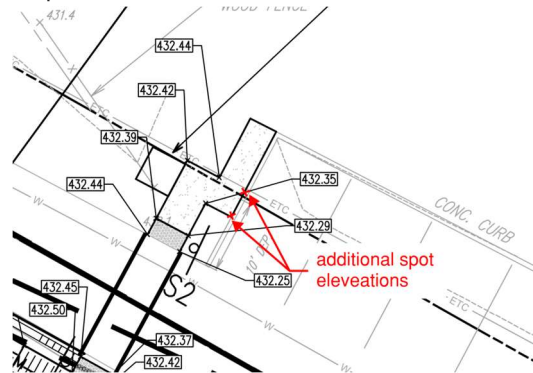
Bowman completed a traffic review of the proposed residential subdivision consisting of seven single family homes located on the southwest corner of Pottstown Pike (S.R. 3100) and Old Pottstown Pike. Access to the proposed homes will be provided via four individual lot driveways, and a shared driveway for three lots. Our traffic review is based on the following document.

- *Preliminary/Final Land Development Plan of 1354 Pottstown Pike Subdivision*, prepared by Howell Engineering, revised March 3, 2026.

Based on our review of the above document, we offer the following comments for consideration.

1. SALDO Section 281-32 - The plan proposes rolled curb along the Old Pottstown Pike street frontage, and the curb detail on sheet 15A shows the rolled curb detail. Justification for the use of rolled curb should be provided, since Appendices D and E of the ordinance require vertical curb. Vertical curb should be used, unless rolled curb is justified and if approved by the Township's Director of Public Works and the Board of Supervisors through a waiver request.
2. As currently proposed, the spread of flow at Inlet 2 along Old Pottstown Pike extends across the entire eastbound Old Pottstown Pike travel lane. The spread of flow calculations for the proposed drainage system along Old Pottstown Pike should be revised to assume a 10-year storm and n value for Inlet 2 to match PennDOT requirements for roadway drainage design.
3. The following comments pertain to the mid-block pedestrian crossing of Old Pottstown Pike between the proposed sidewalk and the parking area for Banbury Park:
  - a. The plans should be revised to show additional spot elevations for the jog in the sidewalk on the north side of the crossing. This area should provide turning areas with cross

slopes not to exceed two percent. Please see the plan excerpt below for the additional requested locations.



- b. Provide a sign legend which identifies sign S2 as a Pedestrian Warning (W11-2A) sign with Downward Pointing Arrow (W16-7P) plaques.
  - c. Provide the W11-2A signs back-to-back on the sign posts so there are two signs (one on each side of the road) on both approaches to the crossing.
  - d. All sign post installations should be in accordance PennDOT Publication 111. Provide a detail for the sign post installations.
  - e. Add a note to the plan for eradication of the double yellow centerline in the area of the crosswalk.
  - f. Please add the available and required sight distances looking left and right from both sides of the pedestrian crossing to the Site Distance Analysis table on sheet 2.
4. Chapter 295-12 – This development is located outside the Township’s Transportation Impact Fee Service Area, and therefore it is not subject to the Township’s Transportation Impact Fee.

As part of future submissions, the applicant's engineer should compose a response letter that describes how each comment has been addressed and where any revisions are located. Additional comments may follow upon receipt of future submissions.

If there are any questions or if additional information is requested, please contact our office.

Sincerely,

Christopher J. Williams, P.E.  
BOWMAN



# THE COUNTY OF CHESTER



COMMISSIONERS  
Marian D. Moskowitz  
Josh Maxwell  
Michelle Kichline

Brian N. O’Leary, AICP  
Executive Director

PLANNING COMMISSION  
Government Services Center, Suite 270  
601 Westtown Road  
P. O. Box 2747  
West Chester, PA 19380-0990  
(610) 344-6285 Fax (610) 344-6515

June 2, 2023

John R. Weller, AICP, Director of Planning & Zoning  
West Whiteland Township  
101 Commerce Drive  
Exton, PA 19341

Re: Preliminary/Final Subdivision - 1354 Pottstown Pike  
# West Whiteland Township – SD-05-23-17655

Dear Mr. Weller:

A Preliminary/Final Subdivision Plan entitled "1354 Pottstown Pike", prepared by Howell Engineering, and dated April 30, 2023, was received by this office on May 5, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision for your consideration.

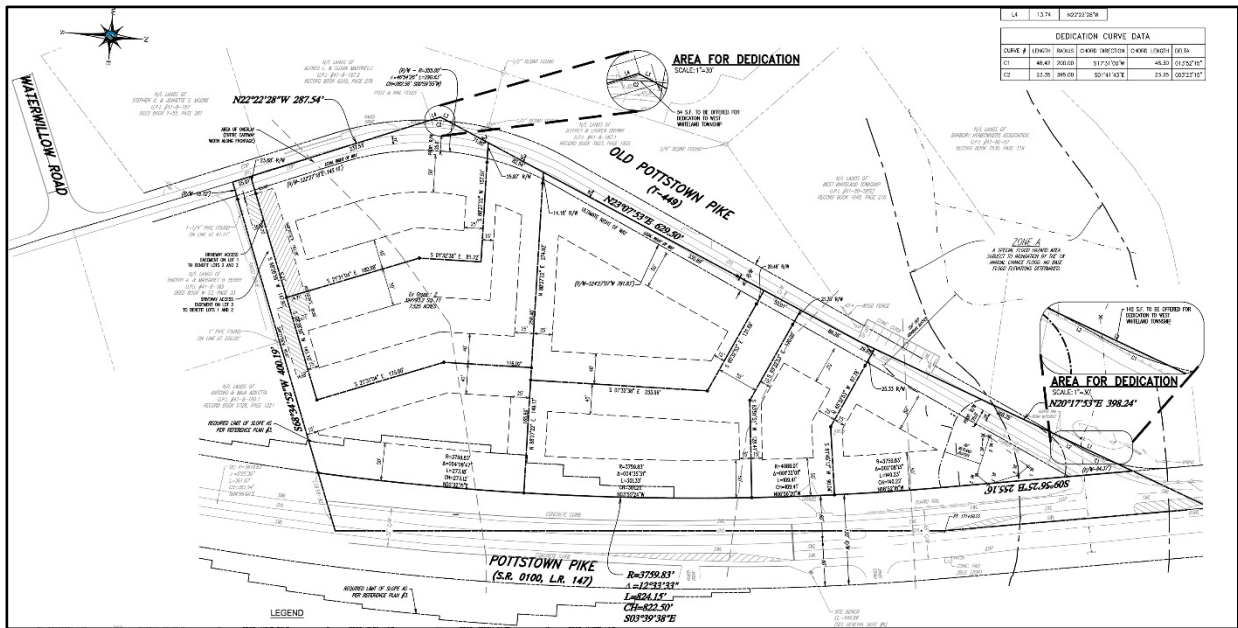
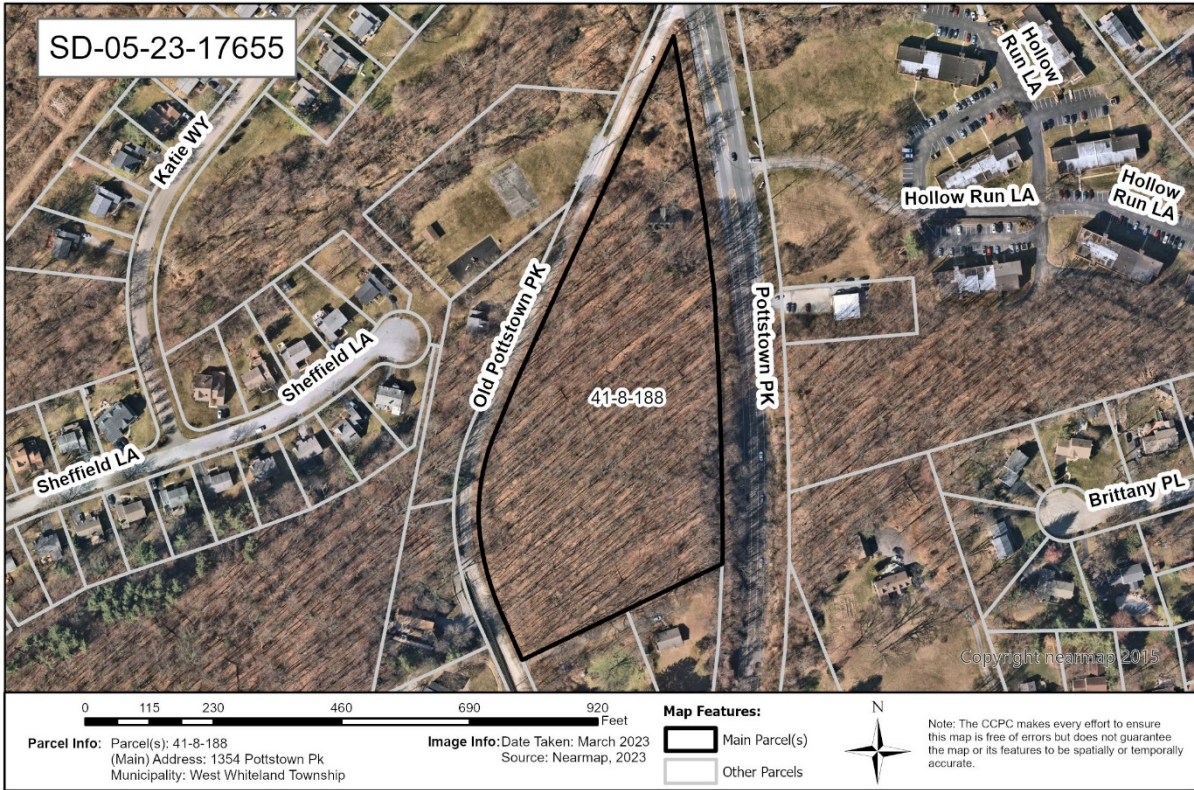
**PROJECT SUMMARY:**

|                                      |  |
|--------------------------------------|--|
| Location:                            | between Old Pottstown Pike and Pottstown Pike, north of Waterwillow Road |
| Site Acreage:                        | 7.52   |
| Lots/Units:                          | 7 Lots   |
| Non-Res. Square Footage:             | 0  |
| Proposed Land Use:                   | Single Family Residential  |
| Municipal Land Use Plan Designation: | MDR Medium Density Residential; and Naturally Constrained Land           |
| UPI#:                                | 41-8-188   |

**PROPOSAL:**

The applicant proposes the creation of seven (7) single family residential lots. Vehicular access to all seven lots will be provided from Old Pottstown Pike. The existing dwelling on the site will be removed. The project site, which will be served by public water and public sewer, is located in the R-2 Residential zoning district.

**RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed, and all Township issues should be resolved before action is taken on this subdivision plan.**



Site Plan Detail, Sheet 2: Preliminary/Final Subdivision - 1354 Pottstown Pike

**BACKGROUND:**

1. The Chester County Planning Commission has previously reviewed a subdivision proposal for this site, which also addressed the creation of seven residential lots (CCPC# SD-12-15-13078, dated January 7, 2016). We have no official record that the Township granted final plan approval for this prior submission. Additionally, we note that the Act 247 County Referral Form identifies the current submission as a new proposal.



Site Plan Detail, Sheet 17: Preliminary/Final Subdivision - 1354 Pottstown Pike

**COUNTY POLICY:**

**LANDSCAPES:**

2. The project site is located within the **Suburban Landscape** and **Natural Landscape** designations of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. Additionally, roads, sidewalks and paths with convenient access to parks and community facilities should be provided. As an overlay of all other landscapes, the county's **Natural Landscapes** consist of a network of streams, wetlands, floodplains, and forests that are protected by regulations or should be subject to limited disturbance. Conservation practices should protect and restore these natural resources. While the proposed subdivision is consistent with the objectives of the **Suburban Landscape**, careful consideration of the proposed development activity is required due to the environmental constraints of the project site, particularly steep slopes.

**WATERSHEDS:**

3. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Broad Run subbasin of the Brandywine Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduce stormwater runoff, restore water quality of "impaired" streams, and protect vegetated riparian corridors. **Watersheds** can be accessed at [www.chesco.org/water](http://www.chesco.org/water).

PRIMARY ISSUES:

Access and Circulation:

4. While we acknowledge, and endorse, that the applicant proposes the use of a shared driveway entrance for Lot 1, 2, and 3, we also suggest that the applicant and Township consider a shared driveway arrangement for Lots 4, 5, and 6. Shared driveways can reduce the number of new access points on public roads, limit impervious coverage, reduce earth disturbance and lower construction costs.
5. We endorse the installation of sidewalks along Old Pottstown Pike. Sidewalks are an essential design element in the **Suburban Landscape**.
6. There is an existing Township Park (Banbury Park) located on the west side of Old Pottstown Pike, directly across the street from Lots 6 and 7. We suggest that the applicant and Township determine if any signage and/or pavement markings are required in order to allow safe pedestrian access to this park from the proposed sidewalk on the project site.

Natural Features Protection:

7. The Township should verify that the design of the slopes is consistent with all ordinance requirements related to permitted grades, the design and specifications of retaining walls and slope stabilization. Areas of steep and moderate slopes should be protected from disturbance that may cause erosion and flooding, as well as negatively impact water quality, wildlife habitat, slope stability, and scenic views.
8. The plan and 2023 aerial photography indicate that a portion of the site is wooded. Mature trees and shrubs reduce the volume and impacts of stormwater runoff by intercepting precipitation, increasing evapotranspiration, and stabilizing soil through root growth. The removal of trees should be limited to the minimum area needed for the dwellings and support facilities. The “limits of disturbance” should be delineated to protect all trees that are intended to remain, and orange construction fencing should be placed at the “limit of disturbance” to prevent unintended intrusion into these areas by construction equipment. Additional native trees and shrubs should be incorporated into the landscaping plans to replace and mitigate the loss of removed trees.
9. The site contains land within the 100 year flood plain. Although it does not appear that any development activity will encroach into the floodplain, we note that the County Planning Commission does not support development in the floodplain, and the Federal Emergency Management Agency and Pennsylvania Department of Environmental Protection regulate filling or development in the floodplain. Development within a floodplain can increase the magnitude and frequency of normally minor floods, and present health and safety problems.
10. The site contains delineated wetlands. Although it does not appear that any development activity will encroach into the delineated wetland area, the applicant should be aware that placement of fill in wetlands is regulated by the Corps of Engineers in accordance with Section 404 of the Clean Water Act (1977) and the Department of Environmental Protection under Chapter 105 Rules and Regulations for the Bureau of Dams and Waterway Management.

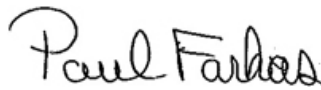
Page: 5  
Re: Preliminary/Final Subdivision - 1354 Pottstown Pike  
# West Whiteland Township – SD-05-23-17655

ADMINISTRATIVE ISSUES:

11. Land disturbance and land development activities that occur within Chester County must comply with the ***County-wide Act 167 Stormwater Management Plan for Chester County, PA*** (August 2022) and the associated Act 167 stormwater management ordinance standards adopted by each municipality.
12. General Note 21 on Sheet 1 indicates that the maintenance of the permanent stormwater management facilities, which includes a rain garden on Lot 7, shall be the responsibility of the individual lot owner. Ongoing efforts by the municipality may be needed to educate the homeowners so that they can fully understand and fulfill the operation and maintenance requirements for these facilities, particularly in regard to the on-going maintenance of the rain garden plantings.
13. The applicant should contact the office of the Chester County Conservation District (telephone #610-455-1360) for information and clarification on erosion control measures. The provisions of the Commonwealth Erosion Control Regulations may apply to the project and may require an Earth Disturbance Permit or a National Pollutant Discharge Elimination System permit for discharge of stormwater from construction activities. Additional information on this topic is provided online at: <https://www.chesco.org/284/ErosionStormwater>.
14. A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of West Whiteland Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Paul Farkas  
Senior Review Planner

cc: 1354 Old Pottstown Pike, LLC  
Southdown Homes LP  
Howell Engineering  
Sunshine Management  
Chester County Conservation District

**WEST WHITELAND TOWNSHIP**

**RESOLUTION NO. 2026-**

**WHEREAS** by virtue of Resolution 2009-09 adopted April 8, 2009, the Board of Supervisors of Whiteland Township declared its intent to follow the schedules and procedures for the disposition of records as set forth in the Municipal Records Manual approved on December 16, 2009, and,

**WHEREAS** in accordance with Act 428 of 1968, each individual act of disposition shall be approved by resolution of the governing body of the municipality;

**NOW THEREFORE, BE IT RESOLVED** that the Board of Supervisors of the Township of West Whiteland, Chester County, Pennsylvania, in accordance with the above-cited Municipal Records Manual, hereby authorizes reformatting of the following public records:

**RECORDS TO BE DESTROYED:**

| <b><u>OFFICE</u></b> | <b><u>RECORD TITLE</u></b> | <b><u>DATE</u></b> | <b><u>MEDIA/File Size</u></b> |
|----------------------|----------------------------|--------------------|-------------------------------|
| Planning             | Planning Commission        | February 17, 2026  | 540 KB of data                |
|                      | Planning Commission        | March 3, 2026      | 267 KB of data                |

**ADOPTED** this 8<sup>th</sup> day of **April, 2026**.

WEST WHITELAND TOWNSHIP  
BOARD OF SUPERVISORS

\_\_\_\_\_  
Brian Dunn, Chair

ATTEST:

\_\_\_\_\_  
Pam Gural-Bear, Township Manager

\_\_\_\_\_  
Rajesh Kumbhardare, Vice-Chair

\_\_\_\_\_  
Libby Madarasz, Supervisor

# MEMORANDUM

**TO:** Board of Supervisors  
**FROM:** Todd Greenawalt  
**SUBJECT:** Approval of Operation & Maintenance Agreements for Stormwater projects  
**DATE:** March 31, 2026

---



## **Motion:**

To approve the Stormwater Management Facilities Operation and Maintenance Agreements for two small homeowner-based projects located at 1256 Grove Road and 298 North Cote Circle.

## **Background:**

Township Stormwater Management Ordinance No. 270 permits smaller-scale projects to be designed using a simplified approach, based on criteria and regulations developed by Chester County and adopted as part of the Township ordinance.

The two projects under consideration are:

- 1256 Grove Road – proposed residential building addition
- 298 N. Cote Circle – proposed in-ground pool and deck installation

Both projects received zoning variances from the Township Zoning Hearing Board. As a condition of approval, each applicant was required to address stormwater management and demonstrate compliance with Ordinance No. 270.

Each project includes the preparation of a Stormwater Management Facilities Operation and Maintenance Agreement. These agreements are required to be recorded with the County Recorder of Deeds and establish ongoing responsibilities for the maintenance of stormwater facilities.

Township staff has reviewed the submissions and determined that approval of the stormwater management plans should be incorporated into the respective building permit applications.

## **Attachments:**

1256 Grove Road Stormwater Management Operations and Facilities Maintenance Agreement with associated stormwater plan for a building addition with an underground infiltration basin

298 N. Cote Circle Stormwater Management Operations and Facilities Maintenance Agreement with associated stormwater plan for an in-ground pool and concrete decking

Prepared by/return to:  
West Whiteland Township  
101 Commerce Drive  
Exton, PA 19341  
Attn: Todd Greenawalt

UPI# 41-8-153

WEST WHITELAND TOWNSHIP  
CHESTER COUNTY, PENNSYLVANIA

**STORMWATER MANAGEMENT FACILITIES MAINTENANCE AGREEMENT**

THIS STORMWATER MANAGEMENT FACILITIES MAINTENANCE AGREEMENT (“Maintenance Agreement”) is executed this 31<sup>st</sup> day of March, 2026, by and between Carl D. III and Michele M. Hertzog the owners of real property located at 1256 Grove Road, West Chester, Pennsylvania, 19380 (hereinafter referred to as the “Owner”); and WEST WHITELAND TOWNSHIP, a Second Class Township organized and existing under the laws of the Commonwealth of Pennsylvania, located at 101 Commerce Drive, Exton, Pennsylvania, 19341 (hereinafter referred to as the “Township”).

BACKGROUND

A. The Owner is the owner of a certain tract of ground located in West Whiteland Township, Chester County, Pennsylvania (the “Property”) on which it intends to develop an infiltration trench as a stormwater management facility for a home addition (the “Development”) in accordance with a plan known as Plan of Proposed Addition for Carl D. III & Michele M. Hertzog prepared for the Owner by Herbert E. MacCombie, Jr., P.E. Consulting Engineers & Surveyors, Inc., dated 11/14/2025, and last revised on 12/16/2025, consisting on one sheet (hereinafter referred as the “Plan”). The Plan is being recorded in the Office of the Recorder of Deeds in Chester County Pennsylvania (hereinafter referred to as the “Recorder’s Office”) contemporaneously with the recordation of the Maintenance Agreement.

B. The Plan depicts the construction of certain buildings and improvements, including the installation of certain stormwater management facilities, including but not limited to components to control the quality of stormwater discharge, such as plantings, bioretention swales, permeable media, outlet structures, endwalls, pipe swales, and similar devices that help to control pollutants and debris, and BMP’s, all as depicted on Sheet 1 of the Plan (the “Stormwater Facilities”). The Owner is required

and intends to install and to maintain the Stormwater Facilities in accordance with the Plan and the conditions of approval adopted by the Township.

C. Section 270-43 of the Township Code of Ordinances requires the Owner to enter into a maintenance agreement requiring that the owners of Stormwater Facilities be responsible for proper maintenance during and after development of all required Stormwater Facilities required by the Plan in perpetuity.

D. Owner desires to execute and record this Maintenance Agreement in order to satisfy its obligations under Section 270-43 referred to above.

#### GRANTS AND TERMS

NOW, THEREFORE, the Owner, for itself, its successors-in-interest, successors-in-title, grantees and assigns, including but not limited to a successor homeowners' association, (jointly, severally, and collectively referred to hereinafter as "Owner"), for good and valuable consideration, the receipt and sufficiency whereof being hereby acknowledged, and intending to be legally bound hereby, hereby covenants, declares, agrees, confirms and provides as follows:

- 1) The Background Paragraphs A through D herein above are incorporated as part of the terms of this Maintenance Agreement. As-built plans may be required at the request of the Township.
- 2) The intent and purpose of this Maintenance Agreement is to ensure the proper maintenance of the Stormwater Facilities by the Owner; provided, however, that this Maintenance Agreement shall not be deemed to create or affect any additional liability of any party for damage alleged to result from or be caused by stormwater runoff.
- 3) The Owner shall construct the Stormwater Facilities in accordance with the specifications identified in the Plan.
- 4) The Owner shall inspect, operate and perpetually maintain the Stormwater Facilities as shown on the Plan in good working order acceptable to the Township and in accordance with the specific inspection and maintenance requirements outlined herein. At least once a year and if notified by the Township after significant rainfall events the Owner shall inspect the Stormwater Facilities for proper operation and remove any accumulated debris, sediment and invasive vegetation. Vegetation along the surface of any Stormwater Facility shall be maintained in good condition, and any bare spots are to be revegetated as soon as possible. Vehicles shall not be parked or driven on any Stormwater Facility unless such Stormwater Facility is designed for this activity and care is to be taken to avoid excessive compaction by mowers. Any debris, such as leaves blocking flow in any Stormwater Facility or blocking flow from reaching a Stormwater Facility, shall be routinely removed. The Owner shall provide the Township with confirmation of the annual inspection on

the form provided by the Township.

- 5) The Township, its authorized agents and employees, have the right, but not the responsibility, to conduct inspections of the Stormwater Facilities and the Owner hereby grants the Township the full and uninterrupted right, right of way, privilege, easement and authority to enter upon the Property, at reasonable times and at such times as the Township shall deem necessary and upon presentation of proper identification, to inspect the Stormwater Facilities whenever it deems necessary for compliance with this Maintenance Agreement and the Township's Stormwater Management Ordinance (as amended). Whenever possible, and after making a good faith effort, the Township shall notify the Owner prior to entering the Property. The Township reserves the right to charge the Owner for such inspections, and collection of the cost thereof from Owner in a manner as allowed by law.
- 6) The Owner acknowledges that, per the Township's Stormwater Ordinance, it is unlawful, without written approval of the Township, to:
  - a) Modify, remove, fill, landscape, alter or impair the effectiveness of any Stormwater Facilities that is constructed as part of the Plan;
  - b) Place any structure, fill, landscaping, additional vegetation, yard waste, brush cuttings, or other waste or debris into a Stormwater Facilities that would limit or alter the functioning of the Stormwater Facilities;
  - c) Allow the Stormwater Facilities to exist in a condition which does not conform to the Plan or this Maintenance Agreement; and
  - d) Dispose of, discharge, place or otherwise allow pollutants including, but not limited to, deicers, swimming pool additives, household chemicals and automotive fluids to directly or indirectly enter any Stormwater Facilities.
  - e) All materials collected by the Stormwater Facilities, including but not limited to oil and sediment, shall be disposed of in accordance with PaDEP, EPA and any other applicable regulations.
- 7) In the event the Owner fails to operate and maintain the Stormwater Facilities as shown on the Plan in good working order acceptable to the Township, the Owner shall be in violation of this Maintenance Agreement and the Township's Stormwater Ordinance, and the Owner agrees that the Township or its representatives may, in addition to and not in derogation or diminution of any remedies available to it under the Stormwater Ordinance or other statutes, codes, rules or regulations, or this Maintenance Agreement, enter upon the Property and take whatever

action is deemed necessary to maintain said Stormwater Facilities. It is expressly understood and agreed that the Township is under no obligation to maintain or repair said Stormwater Facilities, and in no event shall this Maintenance Agreement be construed to impose any such obligation on the Township.

- 8) Should a Stormwater Facility not function properly, the Township shall be notified in writing within 10 business days of the discovery of the malfunction and the proposed maintenance, repairs or modifications necessary to resolve the malfunction. All maintenance, repairs or modifications shall be made in accordance with the specifications of the manufacturer of the device or the design engineer. If a repair or modification is made not within the specifications of the manufacturer or design engineer, said repair or modification shall be approved in writing by the manufacturer or the design engineer, and a copy of the approval shall be filed with the Township. The maintenance, repair, or modification must be completed within 30 business days of discovery of the malfunction, or immediately upon discovery if the malfunction poses a threat to public health or safety.
- 9) In the event Owner fails to comply with the terms of this Maintenance Agreement, Township shall send written notice to Owner specifying the areas of noncompliance (“Deficiencies”) and the steps that must be taken to comply. In the event Owner does not comply with the terms of the notice within 30 business days of the date thereof, or diligently pursue compliance in circumstances where compliance is not possible within 30 business days due to weather conditions or otherwise, Township shall have the right, but not the obligation, to enforce this Maintenance Agreement at law or in equity, and/or to enter upon the Property and correct the Deficiencies, and collect the cost thereof from Owner in a manner as allowed by law.
- 10) The Owner, their executors, administrators, assigns, heirs, and other successors in interests, hereby release and shall release the Township, its employees, agents and designated representatives from all damages, accidents, casualties, occurrences or claims which might arise or be asserted against the Township and/or its said employees, agents or representatives, arising out of the construction, presence, existence, or maintenance of the Stormwater Facilities either by the Owner or Township. In the event that a claim is asserted or threatened against the Township, its employees, agents or designated representatives, the Township shall notify the Owner and the Owner shall defend, at his own expense, any claim, suit, action or proceeding, or threatened claim, suit, action or proceeding against the Township or, at the request of the Township, pay the cost, including attorneys' fees, of defense of the same undertaken on behalf of the Township. If any judgment or claims against the Township, its employees, agents or designated representatives shall be allowed, the Owner shall pay all damages, judgments or claims and any costs and expenses incurred by the Township, including attorney's fees, regarding said damages, judgment or claims.

- 11) If the requirements of this Maintenance Agreement are part of the conditions for issuance of the Township Use and Occupancy Permit for the development depicted on the Plan and the Property and it is the Owner's responsibility to comply with the requirements of this Maintenance Agreement. Should the Owner fail to comply, the Township reserves the right to revoke the Use and Occupancy Permit after providing the Deficiency notice and cure period as set forth herein above.
  
- 12) The Township may enforce this Maintenance Agreement in accordance with its Stormwater Ordinance, at law or in equity, against the Owner for breach of this Maintenance Agreement. Remedies may include fines, penalties, damages or such equitable relief as the parties may agree upon or as may be determined by a Court of competent jurisdiction. Recovery by the Township shall include its reasonable attorney's fees and costs incurred in seeking relief under this Maintenance Agreement.
  
- 13) This Maintenance Agreement and the provisions hereof (1) shall run with the land, and be appurtenant to title to the Property and every portion thereof; and (2) shall be binding upon and inure to the benefit of the Owner, and each and all of its respective successors and assigns, and successors in title to the Property and every portion thereof. Any and all conveyances, leases or encumbrances of any part of the Property shall be subject to the provisions hereof. The Owner shall inform future buyers of the Property about the function of, operation, inspection and maintenance requirements of the Stormwater Facilities prior to the purchase of the Property by said future buyer, and upon purchase of the Property the future buyer assumes all responsibilities as Owner and must comply with all terms and conditions of this Maintenance Agreement.
  
- 14) This Maintenance Agreement shall be recorded at the Office of the Recorder of Deeds of the County of Chester, Pennsylvania, and shall constitute a covenant running with the Property and/or equitable servitude, in perpetuity.
  
- 15) Any notice, demand, instruction, report, or other communication to be given to either party under the terms of this Maintenance Agreement shall be in writing, and sufficiently given if delivered by hand delivery, express delivery service, electronic mail, transmitted by facsimile with confirming receipt or United States certified mail, return receipt requested, postage prepaid, addressed as set forth below.

If to Township:

**West Whiteland Township**

**101 Commerce Drive  
Exton PA. 19341  
Phone: (610) 363-9525**

If to Owner:

**Carl D. III & Michele M. Hertzog  
1256 Grove Road  
West Chester, Pa 19380  
Phone: [REDACTED]  
Electronic Mail: [REDACTED]**

The addresses of the parties in this Maintenance Agreement shall remain in effect until another address is given to the other party in accordance with these notice provisions.

19) Miscellaneous Provisions.

- a) Severability. If any provision of this Maintenance Agreement shall to any extent be invalid or unenforceable, the remainder of this Maintenance Agreement (or the application of such provision to persons or circumstances other than those in respect of which it is invalid or unenforceable) shall not be affected thereby, and each provision of this Maintenance Agreement, unless specifically conditioned upon such invalid or unenforceable provision, shall be valid and enforceable to the fullest extent permitted by law.
- b) Amendment. This Maintenance Agreement may not be amended except by written instrument signed and acknowledged by the Owner, its successors and assigns, and Township and recorded in the Office of the Recorder of Deeds of Chester County, Pennsylvania.
- c) Governing Laws. This Maintenance Agreement shall be construed and governed by the laws of the Commonwealth of Pennsylvania.
- d) Integration. This Maintenance Agreement sets forth the entire agreement between the Owner and Township with respect to the subject matter hereof.
- e) Counterparts. This Maintenance Agreement may be executed in one or more counterparts and, if executed in more than one counterpart, the executed counterparts shall each be deemed to be an original but all such counterparts shall together constitute one and the same instrument

[REMAINDER OF THIS PAGE LEFT BLANK INTENTIONALLY]

IN WITNESS WHEREOF, being duly authorized and empowered to do so, the Owner and Township have duly executed and delivered this Maintenance Agreement as of the date and year first above written.

[Redacted]

Name of Owner

[Redacted]

By:

Print Name: Carlo Merzog III

Title: owner

Attest/Witness

Todd Greenwalt  
Print Name: Todd Greenwalt

West Whiteland Township executes this Maintenance Agreement to acknowledge its rights and obligations set forth above.

WEST WHITELAND TOWNSHIP

Attest/Witness

\_\_\_\_\_  
Township Manager

By: \_\_\_\_\_  
Chair, Board of Supervisors

IN WITNESS WHEREOF, being duly authorized and empowered to do so, the Owner and Township have duly executed and delivered this Maintenance Agreement as of the date and year first above written.

[Redacted Signature]

Name of Owner

Attest/Witness

*Todd Greenwell*

Print Name: Todd Greenwell

[Redacted Signature]

By:

Print Name: Michele M. Hertzog

Title: OWNER

West Whiteland Township executes this Maintenance Agreement to acknowledge its rights and obligations set forth above.

WEST WHITELAND TOWNSHIP

Attest/Witness

\_\_\_\_\_  
Township Manager

By: \_\_\_\_\_  
Chair, Board of Supervisors

COMMONWEALTH OF PENNSYLVANIA :  
 : SS  
COUNTY OF CHESTER :

On this, the 31<sup>st</sup> day of March, 2026, before, the undersigned notary public, personally appeared Carl O Hertzog III (Owner) who acknowledged to be the owner of 1256 Grove Road and as such did sign the foregoing instrument for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Jennifer R. Keller  
Notary Public

(Notarial Seal)

My Commission Expires: Sept. 2, 2026

Commonwealth of Pennsylvania - Notary Seal  
Jennifer R. Keller, Notary Public  
Chester County  
My commission expires September 2, 2026  
Commission number 1218980  
Member, Pennsylvania Association of Notaries

COMMONWEALTH OF PENNSYLVANIA :  
 : ss  
COUNTY OF CHESTER :

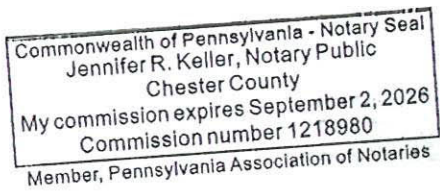
On this, the 31<sup>st</sup> day of March, 2026, before, the undersigned notary public, personally appeared Michele Hertzog (Owner) who acknowledged to be the <sup>owner</sup> ~~1256 Court Road~~ of 1256 Grove Road and as such did sign the foregoing instrument for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Jennifer R. Keller  
Notary Public

(Notarial Seal)

My Commission Expires: Sept. 2, 2026



COMMONWEALTH OF PENNSYLVANIA :  
 : SS  
COUNTY OF CHESTER :

On this, the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me, a Notary Public, the undersigned officer, personally appeared, \_\_\_\_\_ who acknowledged himself/herself to be the Chair of the Board of Supervisors of **TOWNSHIP OF WEST WHITELAND**, and that he/she as such Chair(man/woman), being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the Township by himself/herself as Chair(man/woman).

**IN WITNESS WHEREOF**, I hereunto set my hand and official seal.

\_\_\_\_\_  
NOTARY PUBLIC

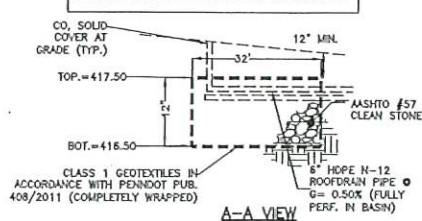
IMPERVIOUS COVERAGES

NET LOT AREA : 18,072 S.F. = 0.4149 AC.
EXISTING RESIDENCE: 1,854 S.F.
EXISTING DRIVEWAY: 1,596 S.F.
EXISTING SHED: 168 S.F.
EXISTING WALK: 21 S.F.

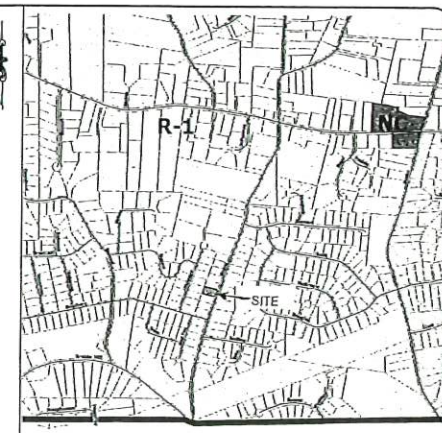
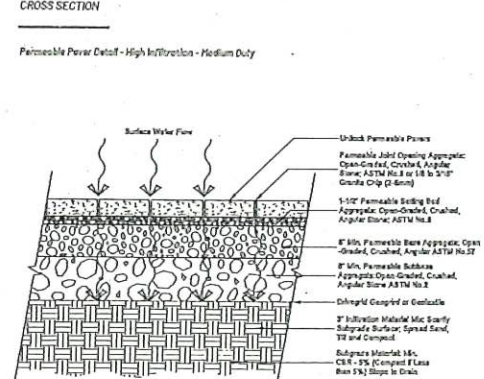
ZONING COMPLIANCE CHART

REQUIRED:
LOT SIZE: 43,560 S.F. (MIN.)
BUILDING COVERAGE: 10% (MAX.)
IMPERVIOUS COVERAGE: 15% (MAX.)
LOT WIDTH AT STREET LINE: 100 FT. (MIN.)
LOT WIDTH AT THE BUILDING LINE: 125 FT. (MIN.)

NOTES:
ALL ROOF DRAIN TO BE PROTECTED FROM DEBRIS.



PERMEABLE PAVER CROSS SECTION



HERBERT E. MACCOMBIE, JR., P.E.
CONSULTING ENGINEERS & SURVEYORS, INC.
P.O. Box 118, Brimfield, PA 19008

Table with 2 columns: DATE, REVISIONS. It lists revision dates and descriptions of changes to the plan.



PLAN OF PROPOSED ADDITION
FOR
CARL D. III & MICHELE M. HERTZOG
1256 GROVE ROAD
WEST WHITELAND TOWNSHIP
CHESTER COUNTY, PA

PROJECT NUMBER: MISC. FILE #1513
SCALE: 1" = 20'
DATE: 11/14/25
SHEET: SHEET 1 OF 1

The Board, Council, or the following:
AND NOTE: On 10/24/25, the combination of the application of Carl and Michele Hertzog requesting rezoning from the following zoning of the existing lot...

- 1. The Applicant shall apply for and obtain a building permit.
2. An appeal to the zoning board of the hearing, the Applicant shall submit pertinent papers or other persons needed for the hearing.
3. The filing of the proposed zoning application shall not be considered as a final approval.

CONSTRUCTION SEQUENCE
1. MARK LIMIT OF DISTURBANCE.
2. PLACE CONSTRUCTION FENCE AROUND THE PROPOSED SPREAD BASIN TO PROTECT FROM COMPACTION DURING CONSTRUCTION.

SEDIMENTATION AND EROSION CONTROL MEASURES

- 1. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND TO PREVENT DAMAGE TO ADJACENT PROPERTIES AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT.
2. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUB-PART C, PROTECTION OF NATURAL RESOURCES, ARTICLE II, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.

STORMWATER MANAGEMENT PLAN/EROSION AND SEDIMENT CONTROL PLAN ACKNOWLEDGEMENT

I, Michele M. Hertzog, acknowledge that the approved stormwater management site plan meets all design standards and criteria of the West Whiteland Township Stormwater Management Ordinance.

ENGINEER STORMWATER MANAGEMENT PLAN CERTIFICATION

I, DENNIS F. O'NEILL, P.E., on this date 11/14/25 HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE WEST WHITELAND TOWNSHIP STORMWATER MANAGEMENT ORDINANCE.

OPERATION AND MAINTENANCE PROCEDURES

- 1. IT SHALL BE THE RESPONSIBILITY OF EACH INDIVIDUAL PROPERTY OWNER TO MAINTAIN ANY STORMWATER MANAGEMENT FACILITIES LOCATED ON HIS/HER RESPECTIVE LOT INCLUDING, BUT NOT LIMITED TO INFILTRATION TRENCH, DIVERSION CHANNELS, COLLECTION CHANNELS, ROOF DRAINS, CLEAN-OUTS.
2. ROOF DRAINS SHOULD BE CLEANED SEASONALLY. ALL DOWNSPOUT SHALL BE PROTECTED WITH LEAF GUARDS.

Prepared by/return to:  
West Whiteland Township  
101 Commerce Drive  
Exton, PA 19341  
Attn: Todd Greenawalt

UPI# 41-5-307

WEST WHITELAND TOWNSHIP  
CHESTER COUNTY, PENNSYLVANIA

**STORMWATER MANAGEMENT FACILITIES MAINTENANCE AGREEMENT**

THIS STORMWATER MANAGEMENT FACILITIES MAINTENANCE AGREEMENT (“Maintenance Agreement”) is executed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_, by and between Eye Delsoldo the owner of real property located at 298 N Cote Circle, Exton, Pennsylvania 19341 (hereinafter referred to as the “Owner”) and WEST WHITELAND TOWNSHIP, a Second Class Township organized and existing under the laws of the Commonwealth of Pennsylvania, located at 101 Commerce Drive, Exton, Pennsylvania, 19341 (hereinafter referred to as the “Township”).

BACKGROUND

A. The Owner is the owner of a certain tract of ground located in West Whiteland Township, Chester County, Pennsylvania (the “Property”) on which it intends to develop a pool and associated improvements (the “Development”) in accordance with a plan known as Pool Permit Plans (C-100 & C-101 / 2 Sheets) prepared for the Owner by Apex Companies, LLC, dated August 28, 2025, and last revised on February 2, 2026 (the “Plan”). The Plan is being recorded in the Office of the Recorder of Deeds in Chester County Pennsylvania (hereinafter referred to as the “Recorder’s Office”) contemporaneously with the recordation of the Maintenance Agreement.

B. The Plan depicts the construction of certain buildings and improvements, including the installation of certain stormwater management facilities, including but not limited to components to control the quality of stormwater discharge, such as plantings, bioretention swales, permeable media, outlet structures, endwalls, pipe swales, and similar devices that help to control pollutants and debris, and BMP’s, all as depicted on Sheets C-100 & C-101 of the Plan (the “Stormwater Facilities”). The Owner is required and intends to install and to maintain the Stormwater Facilities in accordance with the Plan and the conditions of approval adopted by the Township.

C. Section 270-43 of the Township Code of Ordinances requires the Owner to enter into a maintenance agreement requiring that the owners of Stormwater Facilities be responsible for proper

maintenance during and after development of all required Stormwater Facilities required by the Plan in perpetuity.

D. Owner desires to execute and record this Maintenance Agreement in order to satisfy its obligations under Section 270-43 referred to above.

#### GRANTS AND TERMS

NOW, THEREFORE, the Owner, for itself, its successors-in-interest, successors-in-title, grantees and assigns, including but not limited to a successor homeowners' association, (jointly, severally, and collectively referred to hereinafter as "Owner"), for good and valuable consideration, the receipt and sufficiency whereof being hereby acknowledged, and intending to be legally bound hereby, hereby covenants, declares, agrees, confirms and provides as follows:

- 1) The Background Paragraphs A through D herein above are incorporated as part of the terms of this Maintenance Agreement. As-built plans may be required at the request of the Township.
- 2) The intent and purpose of this Maintenance Agreement is to ensure the proper maintenance of the Stormwater Facilities by the Owner; provided, however, that this Maintenance Agreement shall not be deemed to create or affect any additional liability of any party for damage alleged to result from or be caused by stormwater runoff.
- 3) The Owner shall construct the Stormwater Facilities in accordance with the specifications identified in the Plan.
- 4) The Owner shall inspect, operate and perpetually maintain the Stormwater Facilities as shown on the Plan in good working order acceptable to the Township and in accordance with the specific inspection and maintenance requirements outlined herein. At least once a year and if notified by the Township after significant rainfall events the Owner shall inspect the Stormwater Facilities for proper operation and remove any accumulated debris, sediment and invasive vegetation. Vegetation along the surface of any Stormwater Facility shall be maintained in good condition, and any bare spots are to be revegetated as soon as possible. Vehicles shall not be parked or driven on any Stormwater Facility unless such Stormwater Facility is designed for this activity and care is to be taken to avoid excessive compaction by mowers. Any debris, such as leaves blocking flow in any Stormwater Facility or blocking flow from reaching a Stormwater Facility, shall be routinely removed. The Owner shall provide the Township with confirmation of the annual inspection on the form provided by the Township.
- 5) The Township, its authorized agents and employees, have the right, but not the responsibility, to conduct inspections of the Stormwater Facilities and the Owner hereby grants the Township the full and uninterrupted right, right of way, privilege, easement and authority to enter upon the

Property, at reasonable times and at such times as the Township shall deem necessary and upon presentation of proper identification, to inspect the Stormwater Facilities whenever it deems necessary for compliance with this Maintenance Agreement and the Township's Stormwater Management Ordinance (as amended). Whenever possible, and after making a good faith effort, the Township shall notify the Owner prior to entering the Property. The Township reserves the right to charge the Owner for such inspections, and collection of the cost thereof from Owner in a manner as allowed by law.

- 6) The Owner acknowledges that, per the Township's Stormwater Ordinance, it is unlawful, without written approval of the Township, to:
  - a) Modify, remove, fill, landscape, alter or impair the effectiveness of any Stormwater Facilities that is constructed as part of the Plan;
  - b) Place any structure, fill, landscaping, additional vegetation, yard waste, brush cuttings, or other waste or debris into a Stormwater Facilities that would limit or alter the functioning of the Stormwater Facilities;
  - c) Allow the Stormwater Facilities to exist in a condition which does not conform to the Plan or this Maintenance Agreement; and
  - d) Dispose of, discharge, place or otherwise allow pollutants including, but not limited to, deicers, swimming pool additives, household chemicals and automotive fluids to directly or indirectly enter any Stormwater Facilities.
  - e) All materials collected by the Stormwater Facilities, including but not limited to oil and sediment, shall be disposed of in accordance with PaDEP, EPA and any other applicable regulations.
  
- 7) In the event the Owner fails to operate and maintain the Stormwater Facilities as shown on the Plan in good working order acceptable to the Township, the Owner shall be in violation of this Maintenance Agreement and the Township's Stormwater Ordinance, and the Owner agrees that the Township or its representatives may, in addition to and not in derogation or diminution of any remedies available to it under the Stormwater Ordinance or other statutes, codes, rules or regulations, or this Maintenance Agreement, enter upon the Property and take whatever action is deemed necessary to maintain said Stormwater Facilities. It is expressly understood and agreed that the Township is under no obligation to maintain or repair said Stormwater Facilities, and in no event shall this Maintenance Agreement be construed to impose any such obligation on the Township.

- 8) Should a Stormwater Facility not function properly, the Township shall be notified in writing within 10 business days of the discovery of the malfunction and the proposed maintenance, repairs or modifications necessary to resolve the malfunction. All maintenance, repairs or modifications shall be made in accordance with the specifications of the manufacturer of the device or the design engineer. If a repair or modification is made not within the specifications of the manufacturer or design engineer, said repair or modification shall be approved in writing by the manufacturer or the design engineer, and a copy of the approval shall be filed with the Township. The maintenance, repair, or modification must be completed within 30 business days of discovery of the malfunction, or immediately upon discovery if the malfunction poses a threat to public health or safety.
- 9) In the event Owner fails to comply with the terms of this Maintenance Agreement, Township shall send written notice to Owner specifying the areas of noncompliance (“Deficiencies”) and the steps that must be taken to comply. In the event Owner does not comply with the terms of the notice within 30 business days of the date thereof, or diligently pursue compliance in circumstances where compliance is not possible within 30 business days due to weather conditions or otherwise, Township shall have the right, but not the obligation, to enforce this Maintenance Agreement at law or in equity, and/or to enter upon the Property and correct the Deficiencies, and collect the cost thereof from Owner in a manner as allowed by law.
- 10) The Owner, their executors, administrators, assigns, heirs, and other successors in interests, hereby release and shall release the Township, its employees, agents and designated representatives from all damages, accidents, casualties, occurrences or claims which might arise or be asserted against the Township and/or its said employees, agents or representatives, arising out of the construction, presence, existence, or maintenance of the Stormwater Facilities either by the Owner or Township. In the event that a claim is asserted or threatened against the Township, its employees, agents or designated representatives, the Township shall notify the Owner and the Owner shall defend, at his own expense, any claim, suit, action or proceeding, or threatened claim, suit, action or proceeding against the Township or, at the request of the Township, pay the cost, including attorneys' fees, of defense of the same undertaken on behalf of the Township. If any judgment or claims against the Township, its employees, agents or designated representatives shall be allowed, the Owner shall pay all damages, judgments or claims and any costs and expenses incurred by the Township, including attorney's fees, regarding said damages, judgment or claims.
- 11) If the requirements of this Maintenance Agreement are part of the conditions for issuance of the Township Use and Occupancy Permit for the development depicted on the Plan and the Property and it is the Owner’s responsibility to comply with the requirements of this Maintenance Agreement. Should the Owner fail to comply, the Township reserves the right to revoke the Use and Occupancy Permit after providing the Deficiency notice and cure period as set forth herein above.

- 12) The Township may enforce this Maintenance Agreement in accordance with its Stormwater Ordinance, at law or in equity, against the Owner for breach of this Maintenance Agreement. Remedies may include fines, penalties, damages or such equitable relief as the parties may agree upon or as may be determined by a Court of competent jurisdiction. Recovery by the Township shall include its reasonable attorney's fees and costs incurred in seeking relief under this Maintenance Agreement.
- 13) This Maintenance Agreement and the provisions hereof (1) shall run with the land, and be appurtenant to title to the Property and every portion thereof; and (2) shall be binding upon and inure to the benefit of the Owner, and each and all of its respective successors and assigns, and successors in title to the Property and every portion thereof. Any and all conveyances, leases or encumbrances of any part of the Property shall be subject to the provisions hereof. The Owner shall inform future buyers of the Property about the function of, operation, inspection and maintenance requirements of the Stormwater Facilities prior to the purchase of the Property by said future buyer, and upon purchase of the Property the future buyer assumes all responsibilities as Owner and must comply with all terms and conditions of this Maintenance Agreement.
- 14) This Maintenance Agreement shall be recorded at the Office of the Recorder of Deeds of the County of Chester, Pennsylvania, and shall constitute a covenant running with the Property and/or equitable servitude, in perpetuity.
- 15) Any notice, demand, instruction, report, or other communication to be given to either party under the terms of this Maintenance Agreement shall be in writing, and sufficiently given if delivered by hand delivery, express delivery service, electronic mail, transmitted by facsimile with confirming receipt or United States certified mail, return receipt requested, postage prepaid, addressed as set forth below.

If to Township:

**West Whiteland Township  
101 Commerce Drive  
Exton PA. 19341  
Phone: (610) 363-9525**

If to Owner:

**Eve Delsoldo  
298 North Cote Circle  
Exton, PA 19341  
Phone: [REDACTED]  
Electronic Mail: [REDACTED]**

The addresses of the parties in this Maintenance Agreement shall remain in effect until another address is given to the other party in accordance with these notice provisions.

19) Miscellaneous Provisions.

- a) Severability. If any provision of this Maintenance Agreement shall to any extent be invalid or unenforceable, the remainder of this Maintenance Agreement (or the application of such provision to persons or circumstances other than those in respect of which it is invalid or unenforceable) shall not be affected thereby, and each provision of this Maintenance Agreement, unless specifically conditioned upon such invalid or unenforceable provision, shall be valid and enforceable to the fullest extent permitted by law.
- b) Amendment. This Maintenance Agreement may not be amended except by written instrument signed and acknowledged by the Owner, its successors and assigns, and Township and recorded in the Office of the Recorder of Deeds of Chester County, Pennsylvania.
- c) Governing Laws. This Maintenance Agreement shall be construed and governed by the laws of the Commonwealth of Pennsylvania.
- d) Integration. This Maintenance Agreement sets forth the entire agreement between the Owner and Township with respect to the subject matter hereof.
- e) Counterparts. This Maintenance Agreement may be executed in one or more counterparts and, if executed in more than one counterpart, the executed counterparts shall each be deemed to be an original but all such counterparts shall together constitute one and the same instrument

[REMAINDER OF THIS PAGE LEFT BLANK INTENTIONALLY]

IN WITNESS WHEREOF, being duly authorized and empowered to do so, the Owner and Township have duly executed and delivered this Maintenance Agreement as of the date and year first above written.

Eve Delsoldo  
Name of Owner

Attest/Witness

Todd Greenawald  
Print Name: Todd Greenawald

By: 

Print Name: Eve Delsoldo

Title: \_\_\_\_\_

West Whiteland Township executes this Maintenance Agreement to acknowledge its rights and obligations set forth above.

WEST WHITELAND TOWNSHIP

Attest/Witness

\_\_\_\_\_  
Township Manager

By: \_\_\_\_\_  
Chair, Board of Supervisors

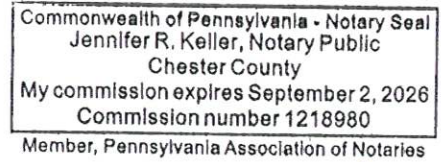
COMMONWEALTH OF PENNSYLVANIA :  
COUNTY OF Chester : SS  
:

On this, the 12<sup>th</sup> day of March, 2026, before, the undersigned notary public, personally appeared Eve Delsoldo (Owner) who acknowledged to be the owner of 298 Cote Circle and as such did sign the foregoing instrument for the purposes therein contained.

IN WITNESS WHEREOF, I hereunto set my hand and official seal.

Jennifer R. Keller  
Notary Public

(Notarial Seal)



My Commission Expires: Sept 2, 2026

COMMONWEALTH OF PENNSYLVANIA :  
 : ss  
COUNTY OF CHESTER :

On this, the \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_, before me, a Notary Public, the undersigned officer, personally appeared, \_\_\_\_\_who acknowledged himself/herself to be the Chair of the Board of Supervisors of **TOWNSHIP OF WEST WHITELAND**, and that he/she as such Chair (man/woman), being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing the name of the Township by himself/herself as Chair(man/woman).

**IN WITNESS WHEREOF**, I hereunto set my hand and official seal.

\_\_\_\_\_  
NOTARY PUBLIC



**POOL PLAN NOTES:**

- Swimming pool needs to comply with Section 506 Barrier Requirements of the 2018 International Swimming Pool and Spa Code. All pool gates shall be self-closing and self-latching.
- All access to the lots shall be through existing curb cuts. A public works road opening permit will be required for access by other means.
- Any damage to adjacent lots caused by construction activities or equipment shall be the responsibility of the contractor to repair to the satisfaction of the township.
- The rope goal must be installed to pass the final inspection.
- As-built plans will be required prior to the close out of the Stormwater Management Plan.

**VARIANCE REQUESTS:**

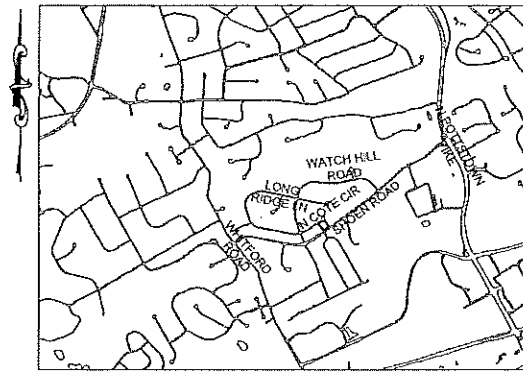
- The following variance requests to the zoning ordinance is being made as part of this plan:
- Section §325-9.0.2 requires the maximum total building coverage to be a maximum of 10%. This plan is requesting the total building coverage be allowed to be raised 2.73%, for a total of 12.73% building coverage.
  - Section §325-9.0.3 requires the maximum total impervious coverage to be a maximum of 15%. This plan is requesting the total impervious coverage be allowed to be raised 6.57%, for a total of 21.57% impervious coverage.
  - Variance request to provide 8 inch diameter HDPE storm sewers from yard drains to the proposed infiltration trench instead of the minimum diameter of 15 inches per Section 270-29 (9). Storm sewer calculations by Apex demonstrating 8 inch HDPE is adequate for conveying the 25-year storm event.

**ZONING NOTES:**

West Whiteland Township  
 R-1 Zoning District  
 This lot is part of the Plan of Watch Hill, recorded in Plan #7894  
 Minimum Lot Area: 50,000 s.f.  
 100 feet, 125 feet at building line  
 Minimum Lot Width: 75 feet  
 Minimum Rear Yard: 40 feet  
 Minimum Side Yard: 45 feet (20' minimum)  
 Maximum Building Coverage: 10 percent  
 Maximum Building Height: 35 feet  
 Maximum Impervious Coverage: 15 percent of net lot size  
 Swimming Pool: 25 feet from property line, 15' from any building

**SURVEY NOTES:**

- This plan is drawn from a survey completed in August of 2005.
- Existing above-grade and below-grade utilities have been shown in accordance with the best available information. Underground utilities are shown according to information provided by others and must be field verified prior to construction, excavation or blasting. The actual locations of these utilities have not been field verified and the locations are approximate. Apex Companies, LLC does not make any representation, warranty, assurance, or guarantee that the underground utility location provided by others and reflected on these drawings are correct and accurate. Apex Companies, LLC assumes no responsibility for any damages incurred as a result of utilities omitted or inaccurately shown.
- Any revisions to these plans after the date of plan preparation or latest revision date shall not be the responsibility of Apex Companies, LLC.
- No one shall scale from these plans for construction purposes.
- Vertical Datum: NAVD 83 Vertical Reference: (Topset)
- Horizontal Datum: NAD83 Horizontal Reference: (Topset)
- North Reference: NAD 83 PA South-Grid North
- There is no 100 Year Flood Plain on-site per National Flood Insurance Program - Flood Insurance Rate Map number 42025C0150G, Effective date of September 25, 2017.
- There are no wetlands present on site according to the (NWI) National Wetland Inventory Mapping. (A detailed wetlands study was not completed as part of this plan)
- Contractor is responsible for contacting Pennsylvania One Call System, Inc. a minimum of 3 working days notice for construction phase and 10 working days notice in design phase.



VICINITY MAP  
 SCALE: 1" = 200'

**SOILS INFORMATION:**

EeB - Edgemont channery loam, 3 to 8 percent slopes  
 UaD - Urban land-Use/soils, limestone complex, 8 to 25 percent slopes

**STORMWATER STATEMENT:**

The owner of the property acknowledges that any revision to the approved stormwater site plan shall be submitted to and approved by the Township, and that a revised erosion and sediment control plan shall be submitted to, and approved by, the Conservation District or Township (as applicable) for a determination of adequacy prior to construction of the revised features.

Signature: *[Signature]* Date: 3-12-26

**BUILDING COVERAGE COMPUTATIONS:**

Net Lot Area: 31,581 s.f. or 0.725 Acres

| Existing              | Proposed           |
|-----------------------|--------------------|
| Residence: 3,356 s.f. | Casana: 250 s.f.   |
| Rear Deck: 406 s.f.   | Subtotal: 250 s.f. |
| Subtotal: 3,772 s.f.  | 0.78 %             |
| 11.84 %               |                    |

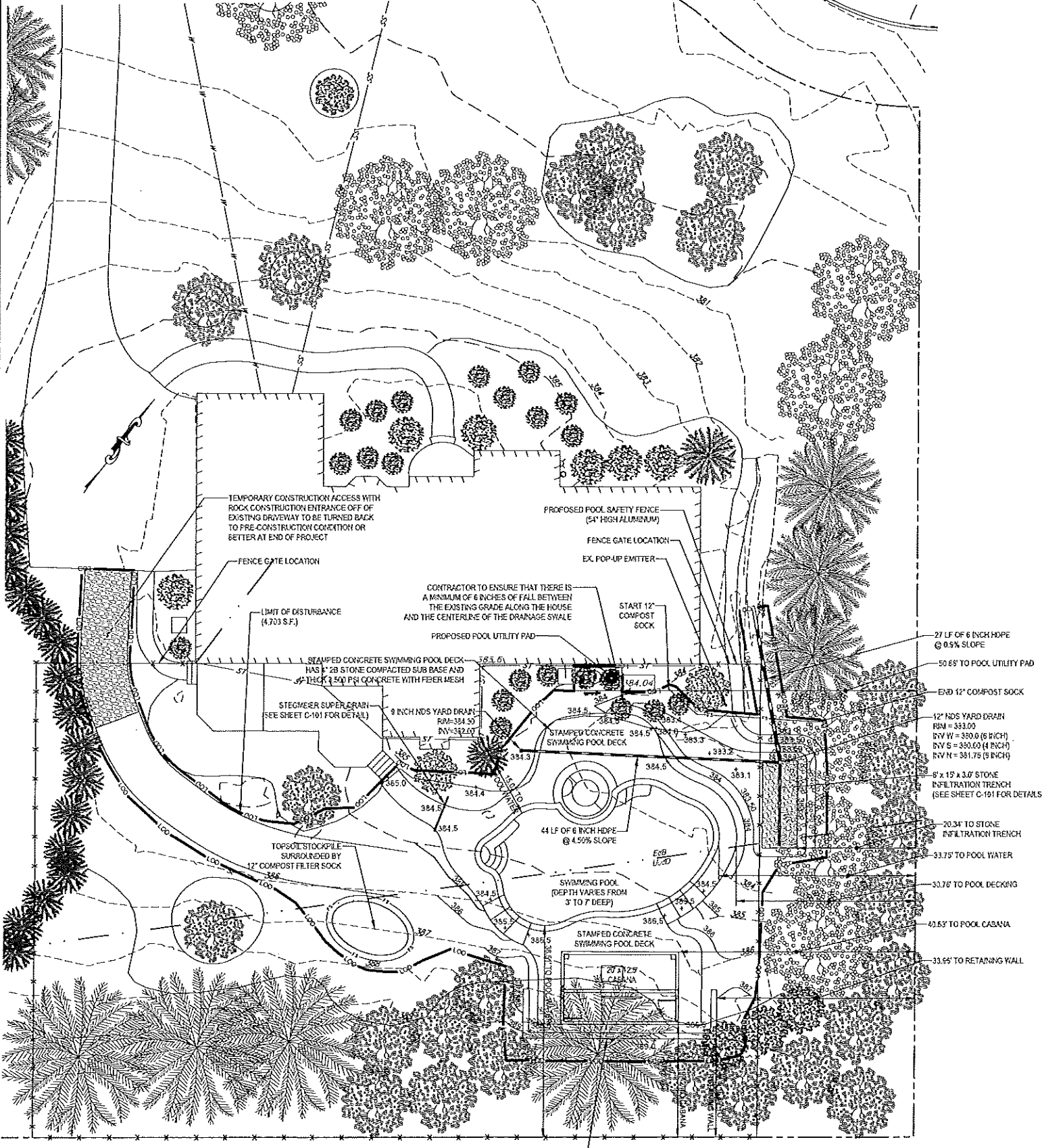
Maximum building coverage allowed: 10% or 3,158.10 s.f.  
 Maximum building coverage shown: 12.73% or 4,022 s.f.

**IMPERVIOUS COVERAGE COMPUTATIONS:**

Net Lot Area: 31,581 s.f. or 0.725 Acres

| Existing                   | Proposed                                    |
|----------------------------|---|
| Residence: 3,356 s.f.      | Pool Utility Pad: 32 s.f.                   |
| Driveway: 1,748 s.f.       | Conc. Decking: 1,032 s.f. (includes casana) |
| Front Walk/Stoop: 281 s.f. | Coping: 139 s.f.                            |
| Side Walk: 59 s.f.         | Retaining Wall: 48 s.f.                     |
| Stone Patio: 108 s.f.      | Subtotal: 1,251 s.f.                        |
| Subtotal: 5,562 s.f.       | 3.96 %                                      |
| 17.61 %                    | (does not include pool water area)          |

Percent of total impervious surfaces existing: 5,562 s.f. / 31,581 s.f. = 17.61%  
 Percent of total impervious surfaces existing & proposed: 6,813 s.f. / 31,581 s.f. = 21.57%  
 Maximum impervious coverage allowed: 15% net or 4,737.15 s.f.  
 Maximum impervious coverage shown: 21.57% net or 6,813 s.f.

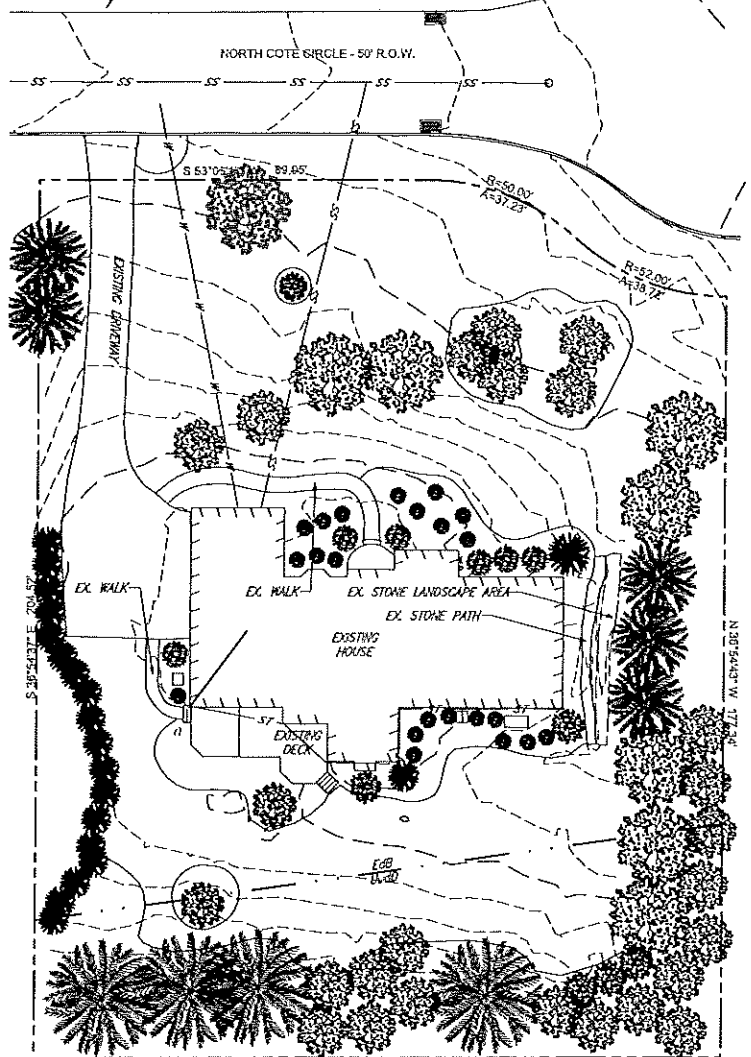


POOL PERMIT PLAN  
 SCALE: 1" = 10'

**OWNER CONTACT:**  
 Eve DeSoldo  
 298 North Cote Circle  
 Exton, PA 19341  
 Ph: 215-870-9589  
 email: edesoldo@gmail.com

**ENGINEER'S CERTIFICATION**  
 I, Ryan K Clark, on this date, February 2, 2026, hereby certify to the best of my knowledge that the SWM site plan meets all design standards and criteria of West Whiteland Township Code Chapter 270, Stormwater Management.

| LEGEND   |                                  |
|----------|----------------------------------|
| SYMBOL   | DESCRIPTION                      |
| [Symbol] | IMPERVIOUS PERMIT AREA (0.20 AC) |
| [Symbol] | LIMIT OF DISTURBANCE (4,703 SF)  |
| [Symbol] | SURFACE CONTOURS                 |
| [Symbol] | SANITARY SEWER                   |
| [Symbol] | STORM SEWER                      |
| [Symbol] | GAS LINE                         |
| [Symbol] | OVERHEAD ELECTRIC LINE           |
| [Symbol] | UNDERGROUND ELECTRIC LINE        |
| [Symbol] | WATER LINE                       |
| [Symbol] | UTILITY EASEMENT                 |
| [Symbol] | UTILITY POLE                     |
| [Symbol] | STORMWATER CATCH BASIN           |
| [Symbol] | SANITARY SEWER MANHOLE           |
| [Symbol] | SANITARY CLEANOUT                |
| [Symbol] | FIRE HYDRANT                     |
| [Symbol] | LIGHT POLE                       |
| [Symbol] | PROPERTY LINE                    |
| [Symbol] | BUILDING                         |
| [Symbol] | PAVED ROAD                       |
| [Symbol] | GRAVEL ROAD                      |
| [Symbol] | CHAIN LINK FENCE                 |
| [Symbol] | TREELINE                         |
| [Symbol] | STREAM                           |
| [Symbol] | CONCRETE PAVEMENT/PAVEMANTWAY    |
| [Symbol] | ROFTRAP                          |
| [Symbol] | EH-NAME                          |
| [Symbol] | GEOTECHNICAL BORED HOLE          |
| [Symbol] | INFILTRATION TEST PIT            |
| [Symbol] | SOIL TYPE AND BOUNDARY           |



EXISTING CONDITIONS  
 SCALE: 1" = 20'



Apex Companies, LLC  
 83 East 5th Avenue,  
 Suite 2  
 Everett, Pennsylvania 15537  
 Phone: (814) 652-1039  
 www.apexccs.com

POOL PERMIT PLAN

EVE DELSOLDO  
 298 North Cote Circle  
 Exton, Pennsylvania 19341  
 Parcel ID: 4105 03070000

West Whiteland Township, Chester County, Pennsylvania

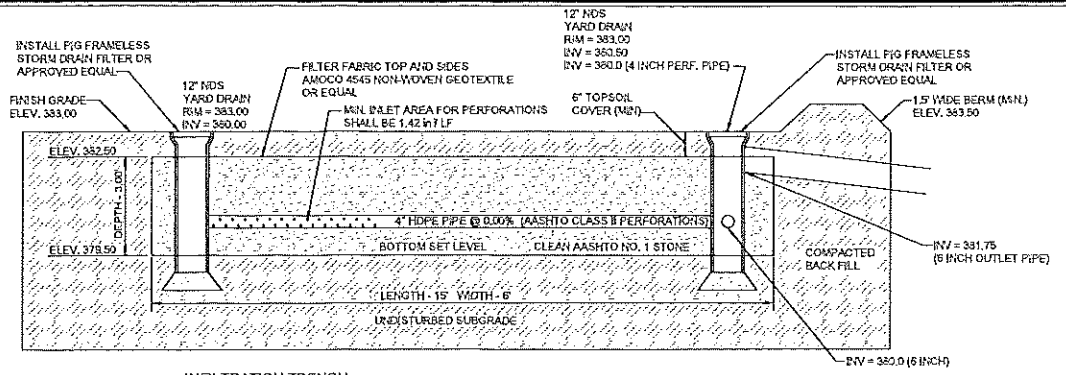
| NO. | DATE       | REVISION  |
|-----|------------|---|
| 1   | 10/22/2025 | REVISED FOR NEW POOL LAYOUT TO REDUCE IMPERVIOUS SURFACE AREA AND IMPROVE ZONING COMPLIANCE AND |
| 2   | 10/27/2025 | REVISED BUILDING AND IMPERVIOUS COVERAGES AND   |
| 3   | 1/11/2026  | REVISED WORKING PERMIT PER ZONING OFFICER EMAIL   |
| 4   | 2/2/2026   | REVISED PLAN PER BUILDING INSPECTOR REVIEW  |
| 5   | 2/2/2026   | ADDED TOWNSHIP ENGINEER STAMP REVIEW LETTER   |

PROFESSIONAL SEAL  
  
 RYAN K. CLARK  
 ENGINEER  
 FEBRUARY 2, 2026  
 of Apex Companies, LLC

DATE: 2/2/2026  
 PROJECT NO: J0008-0422200-2591887  
 FOLDER NAME: CAD  
 CAD DTD FILE: Plan 2026.dwg  
 DRAWN BY: PKC  
 CHECKED BY: RKC  
 SCALE: AS SHOWN

POOL PERMIT PLAN

C-100



**STORM WATER VOLUME CONTROL:**

|                         |            |
|-------------------------|------------|
| Proposed Impervious:    | 1,261 S.F. |
| Precipitation:          | 1.00 inch  |
| Required Trench Volume: | 260.5 CF   |
| Infiltration Trench:    |            |
| Depth:                  | 3.0 feet   |
| Width:                  | 6.0 feet   |
| Trench Length:          | 15.0 feet  |
| Total Storage Volume:   | 270 CF     |

**INFILTRATION TRENCH:**

**BACKFILL MATERIAL**

- The aggregate material for the infiltration trench shall consist of clean aggregate, AASHTO #1

**RUNOFF FILTERING**

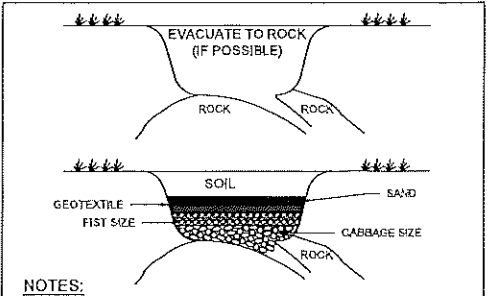
- The contractor shall install silt fence upgradient to the infiltration trench prior to distribution.
- The yard drain grate shall be wrapped with woven geotextile to prevent vegetative clogging.

**CONSTRUCTION**

- Excavate to the design dimensions. Excavated material shall be placed away from the excavated sides to enhance wall stability. Large tree roots shall be trimmed flush with the sides in order to prevent fabric puncturing or tearing during subsequent installation procedures.
- Side walls shall be roughened where stressed and sealed by heavy equipment.
- The filter fabric roll shall be cut to the proper width prior to installation. The cut shall include sufficient material to conform to the wall perimeter irregularities and for a 6" minimum top overlap. When overlaps are required, the upstream roll shall lap a minimum of 2' over the downstream roll to provide a shingled effect.
- VOIDS can be created between the fabric and excavation sides and should be avoided. Removing boulders or other obstacles from the trench walls is one such source of voids. Natural soils should be placed in these voids.
- Contractor must contact the West Whiteland Township to request a representative view the installation of the stormwater management system prior to backfill and prior to completion.
- The stormwater management system shall be built in accordance to these plans and is a permanent feature which can be altered or removed only after the approval of a revised plan by West Whiteland Township.

**OPERATION AND MAINTENANCE OF STORMWATER MANAGEMENT FACILITIES:**

- The homeowner is responsible for the long-term maintenance of the system. The following outlines maintenance procedures for the infiltration trench.
  - Inspect and clean the infiltration trench and inlets at least 2 times per year.
  - Maintain vegetation along and upslope of the infiltration trench in good condition.
  - Repair any bare spots or erosion upslope of trench by placing topsoil in damaged area. Stabilize by seeding and mulching.
  - Prohibit vehicles from parking or being driven on top of infiltration trench, and care shall be taken to avoid excessive compaction by lawnmowers.
- All stormwater conveyance and management facilities shown on this plan are permanent and are not to be removed or filled. The individual lot owner, his/her heirs, assigns or successors shall be responsible for the perpetual maintenance of the said facilities. The Township retains the right, but not the responsibility, to enter said premises to observe or inspect the functioning of these facilities, if the property owner, his/her heirs, assigns or successors fails in any way to maintain the said facilities or causes these facilities to be altered or removed, upon written notification by the Township, the defects shall promptly be corrected by the property owner. Upon the owner's failure to correct the defects within time specified by the Township, the contractor, his/her heirs, assigns or successors do hereby authorize the Township and/or their contractor to enter upon the said property and cause the repair, maintenance, and/or correction to be made. A fee may be filed against the property for the cost of all corrections including applicable engineering and/or attorney's fees. The Township is under no obligation to take any action.



**NOTES:**

UPON DISCOVERING A SINKHOLE IMMEDIATELY CONTACT THE ENGINEER AND THE COUNTY CONSERVATION DISTRICT.

RESOLUTION OF SINKHOLE SHALL BE IN ACCORDANCE WITH ENGINEER'S RECOMMENDATIONS GENERALLY FOLLOWING THIS DETAIL.

**TYPICAL SINKHOLE REPAIR DETAIL**

**TEMPORARY SEEDING:**

- lime: 190 LBS/1000 SF  
Ground limestone incorporated 4 inches into soil
  - Fertilizer: 25 LBS/1000 SF  
10-20-20 incorporated 4 inches into soil
  - Seed: 1.0 LBS/1000 SF  
Annual Ryegrass
  - Mulch: 140 LBS/1000 SF  
Straw Mulch
- Minimum standard for limestone and fertilizer  
Limestone shall be applied at a rate of 1 ton per acre.  
Fertilizer shall be applied at a rate of:
- |                   |                      |
|-------------------|----------------------|
| Nitrate Nitrogen: | 50 LBS/Acre average  |
| Phosphorous:      | 100 LBS/Acre average |
| Potassium:        | 120 LBS/Acre average |

**PERMANENT SEEDING:**

- lime: 190 LBS/1000 SF  
Ground limestone incorporated 4 inches into soil
- Fertilizer: 25 LBS/100 SF  
10-20-20 incorporated 4 inches into soil
- Seeding: Lawn and mowed areas: Kentucky Bluegrass - 30 LBS/Ac  
Red-top - 3 LBS/Ac  
Perennial Ryegrass - 20 LBS/Ac  
Total Seeding = 53 LBS/Ac
- OR  
Perennial Fine Fescue - 40 LBS/Ac  
Red-top - 3 LBS/Ac  
Perennial Ryegrass - 20 LBS/Ac  
Total Seeding = 63 LBS/Ac
- Slopes or uncrowded areas: Crown Vetch - 25 LBS/Ac  
Perennial Ryegrass - 25 LBS/Ac  
Total Seeding = 50 LBS/Ac

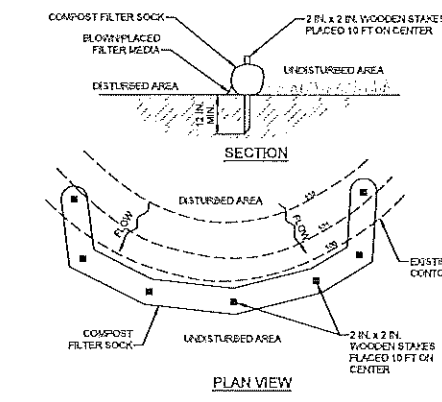
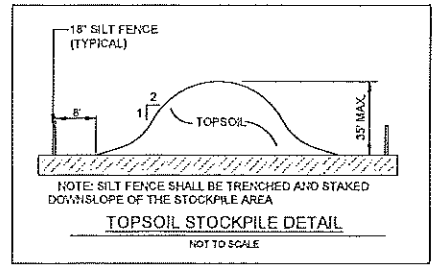
Planting Date: March 1st to May 15th and August 15th to October 1st.  
Mulch straw at a rate of 140 LBS/1000 SF. Mulch shall be secured by approved methods.

**ENGINEER'S CERTIFICATION**

I, Ryan K. Clark, on this date, February 2, 2026, hereby certify to the best of my knowledge that the SWM site plan meets all design standards and criteria of West Whiteland Township Code Chapter 270, Stormwater Management.

**EROSION & SEDIMENTATION CONTROL NOTES:**

- Erosion and sedimentation controls must be constructed, stabilized and functional before site disturbance within the tributary areas of these controls.
- After final site stabilization has been achieved, temporary erosion and sedimentation controls must be removed. Areas disturbed during removal of the controls must be stabilized immediately.
- Filter fabric fence must be installed at level grade. Both ends of each fence section must extend at least ten feet slope to the main fence alignment.
- Sediment must be removed when accumulations reach half the above ground height of the berm.
- Any fence section which has been undermined or topped must be immediately replaced with a rock filter outlet. See Rock Filter Outlet detail.
- Stockpile heights must not exceed 36 feet. Stockpile slopes must be 2:1 or flatter.
- Any disturbed area, on which activity has ceased, must be stabilized immediately in accordance with permanent seeding specifications. During non-germinating periods, mulch must be applied at the recommended rates.
- Diversions, channels, sedimentation basins, sedimentation traps and stockpiles must be stabilized immediately.
- Hay or straw mulch must be applied at rates of at least 3.0 tons per acre.
- Until the site is stabilized, all erosion and sedimentation controls must be maintained properly. Maintenance must include inspections of all erosion and sedimentation controls after each runoff event and on a weekly basis. All preventative and remedial maintenance work, including clean out, repair, replacement, regrading, reseeding, re-mulching and re-staking, must be performed immediately.
- Should unforeseen adverse conditions develop during construction, the contractor shall take action to remedy such conditions and to prevent damage to adjacent properties as a result of increased runoff and/or sediment displacement. Stockpiles of wood chips, hay bales, crushed stone and other materials shall be held in readiness to deal immediately with emergency problems of erosion.
- The contractor is advised to become thoroughly familiar with the provisions of Appendix 54, Erosion Control Rules and Regulations, Title 25, Part 1, Department of Environmental Protection.
- Protection to existing trees and shrubs shall be taken by the contractor to eliminate unnecessary damage.
- Any bare-earth areas where earth moving has ceased must be permanently stabilized immediately.
- All swales shall be protected with erosion control blankets.



**NOTES:**

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 4 FEET UP-SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

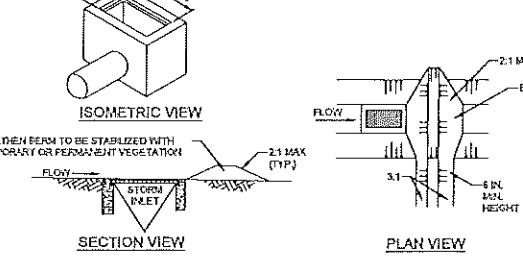
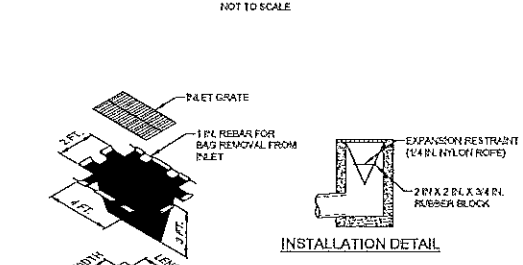
ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF DISCOVERY.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS. PHOTOGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

**STANDARD CONSTRUCTION DETAIL #4-1  
COMPOST FILTER SOCK**



**NOTES:**

MAJOR DRAINAGE AREA = 1/2 ACRE.

PLEET PROTECTION SHALL NOT BE REQUIRED FOR PLEET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

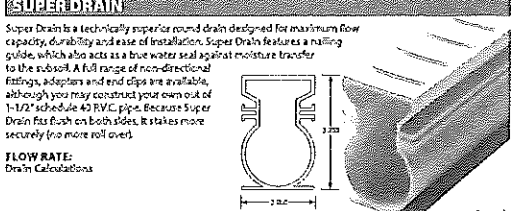
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSF, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RAINOFF EVENT. BAGS SHALL BE EMPTYED AND ROLLED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE PERFORMED IMMEDIATELY AFTER THE INSPECTOR. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR DRAINAGE ROADWAYS WHERE PARKING MAY CAUSE TRAFFIC HAZARDS.

**STANDARD CONSTRUCTION DETAIL #4-10  
FILTER BAG INLET PROTECTION - TYPE M INLET**

**STEGMEIER LIC**



**Flow Rate:**  
Drain Calculations

Assumptions/Constants:  
Gravel: slope 25 (1 in 200) (30 min)  
Surface Roughness (Manning's n): 0.009 (PVC 4" x 30")  
Rainfall Intensity (I) (in/hr): 5.8 (in/hr for 10 year storm with time of concentration is less than duration of 30 min.  
Runoff Coefficient (C) (NOCT Manual): 0.55 (for concrete city street) 0.55-0.75 (for concrete road)

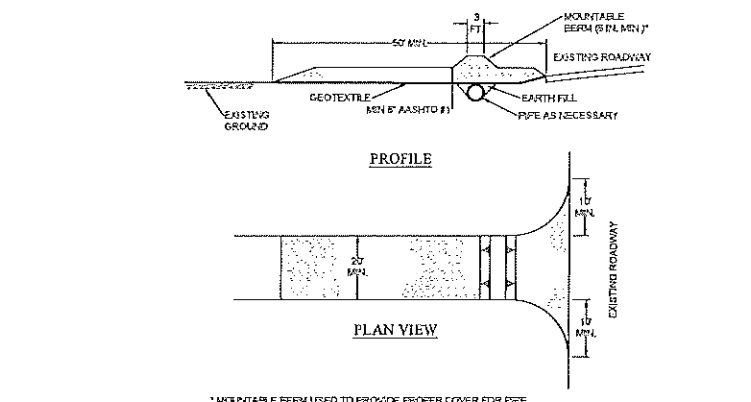
| Drain Size     | Inlet | Outlet | Flow Rate (GPM) | Flow Rate (MGD) | Flow Rate (MGD) | Flow Rate (MGD) | Flow Rate (MGD) | Flow Rate (MGD) | Flow Rate (MGD) |
|----------------|-------|--------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|
| 4" SUPER DRAIN | 0.53  | 0.53   | 0.665           | 0.675           | 0.220           | 0.8             | 0.8             | 0.204           | 135             |

**LOAD TESTING:**

| LOCATION   | LOAD   | LOAD       | LOAD    |
|------------|--------|------------|---------|
| LOCATION A | 84 psf | LOCATION A | 377 psf |
| LOCATION B | 38 psf | LOCATION B | 279 psf |

**CONTRACTOR INFORMATION:**

| Name | Address | City | State | Zip | Phone | Fax |
|------|---------|------|-------|-----|-------|-----|
|      |         |      |       |     |       |     |



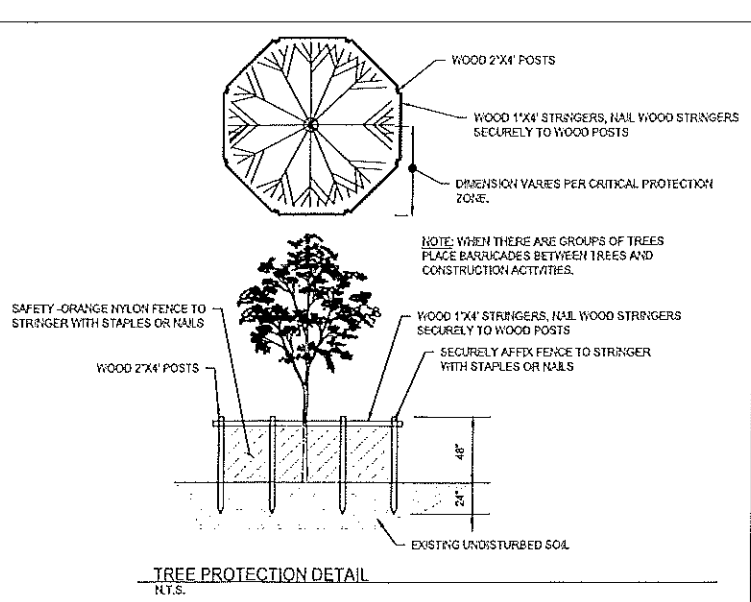
**NOTES:**

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

ROCKOFF SHALL BE DIVERTED FROM ROADWAY TO A SATISFACTORY SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL COORDINATION IS ACHIEVED OR INSTALL WASH ROCK, WASHES THE ROADWAY OR SWEEPERS THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



**TREE PROTECTION DETAIL**



**Apex Companies, LLC**  
83 East 5th Avenue,  
Suite 2  
Everett, Pennsylvania 15537  
Phone: (814) 652-1039  
www.apexcos.com

**POOL PERMIT PLAN**

**EVE DELSOLDO**  
298 North Cote Circle  
Exton, Pennsylvania 19341  
Parcel ID: 4105 03070000  
West Whiteland Township, Chester County, Pennsylvania

| NO. | DATE | REVISION |
|-----|------|----------|
|     |      |          |

**PROFESSIONAL SEAL**

**RYAN K. CLARK**  
ENGINEER  
PENNSYLVANIA  
February 2, 2026

| DATE | BY |
|------|----|
|      |    |

**PROJECT NO.:** ARJ024-022-200-25110003  
**FOLDER NAME:** CAD  
**CAD DRAW FILE:** Plan Sheet 04  
**DRAWN BY:** PKC  
**CHECKED BY:** RSC  
**SCALE:** AS SHOWN

**CONTRACT:**  
All drawings and specifications are prepared by Apex Companies, LLC. The drawings and specifications shall not be used for any other project without the written consent of Apex Companies, LLC. All drawings and specifications are prepared by Apex Companies, LLC. All drawings and specifications are prepared by Apex Companies, LLC. All drawings and specifications are prepared by Apex Companies, LLC.

**POOL PERMIT PLAN**

**C-101**



# MEMORANDUM

**DATE:** April 3, 2026

**TO:** Board of Supervisors

**FROM:** Justin Smiley, AICP  
Capital & Special Projects Manager

**SUBJECT:** Authorization to Initiate Comprehensive Plan Update  
Adoption Process and Advertise Public Hearing

---

## **Motion**

To authorize the initiation of the Comprehensive Plan update adoption process and advertisement of a public hearing for its adoption.

## **Background**

The Township received a \$50,000 Vision Partnership Program (VPP) grant from the Chester County Planning Commission (CCPC) in 2024 to update the Township's 1994 Comprehensive Plan. While the Plan itself is over 30 years old the Township did amend the plan in 2015, 2019 and 2022 to meet current Township needs and concerns. The CCPC authored and presented draft materials and content of the Plan to Staff and Taskforce members (made up of Township residents) at public meetings from July 2024 to February 2026. At these meetings Staff and Taskforce members were asked to provide feedback on important policies and recommendations pertaining to future growth and (re)development over the next 10 years.

As part of the public participation component, CCPC conducted a public survey from October 1, 2024 to February 1, 2025, inviting feedback from all residents and business owners. Nearly, 2,000 responses were collected, identifying priority projects and areas the Township should be focusing on over the next 10 years, such as traffic, development, open space and stormwater. The Survey assisted greatly in the development of recommendations and implementation strategies for the draft plan.

Over the past several months, staff and the Task Force have been working with the CCPC to finalize the Plan's content in preparation for adoption process and presentation to the Township's Planning Commission and Board of Supervisors. The draft Plan and its appendices were presented to the Task Force at their February 10<sup>th</sup> meeting, where they unanimously recommended that the Board of Supervisors initiate the adoption process.

## **The Adoption Process**

The process for amending the Comprehensive Plan is established by Act 247, the Pennsylvania Municipalities Planning Code (MPC). Article III of the MPC includes the details of the process, summarized as follows:

- Once the Board of Supervisors has authorized advertisement of the Plan, the Township Planning Commission will hold a public meeting for the presentation of the final draft version of the Plan. The public will be invited to comment on the document at this time. This meeting will take place at a regularly scheduled Planning Commission Meeting on April

14, 2026 at 7:00 PM. If the Planning Commission makes a recommendation at this meeting the 45-day review period will begin.

- Staff must provide copies of the final draft Plan to each of the seven townships that border West Whiteland, the West Chester Area School District, and the Chester County Planning Commission to review. These entities have forty-five (45) days to provide the Township with their comments. If they fail to do so, we may proceed with the adoption process regardless.
- Following the review period, the Board of Supervisors will convene a public hearing. At the hearing, the Board will review any comments received from the surrounding municipalities, the school district, the County Planning Commission, the Township Planning Commission, and the public. The public may also comment at the hearing. This hearing will tentatively be held on June 10, 2026, pending comments during the 45-day review period.
- If the draft Plan document is satisfactory to the Board, Staff will ask you to pass a resolution at the conclusion of the hearing that will formally adopt the Plan as an amendment to the Township Comprehensive Plan. If the Board directs significant changes to the draft Plan, you are required to hold another hearing prior to voting on a resolution to adopt it.

#### **Attachments (Links)**

1. [Draft formatted Comp. Plan Update 260129](#)
2. [Draft formatted Comp. Plan Appendices 260127](#)



# West Whiteland Comprehensive Plan 2026





# Acknowledgments

**West Whiteland Township,  
Chester County, Pennsylvania  
Comprehensive Plan Update, 2026**

**Board of Supervisors**

Brian Dunn, Chair  
Rajesh Kumbhardare, Vice Chair  
Libby Madarasz, Member

**Township Manager**, Pam Gural-Bear  
**Director of Planning & Zoning**, John Weller, AICP  
**Capital & Special Projects Manager**, Justin Smiley, AICP  
**Township Planner**, Patrick Gorman, AICP  
**Sustainability Coordinator**, Wyatt Williams

**Comprehensive Plan Update Task Force**

Elizabeth Alakszay  
Jason Bailey  
Brian Dakin  
Denise Jones  
Rajesh Kumbhardare  
Glenn Marshall  
Mary Frances McGarrity  
Kevin Moore

**Technical Assistance**

This plan was prepared by the Township and is a product of the Township. Technical planning assistance was provided by the Chester County Planning Commission:

Chris Patriarca, AICP, Senior Community Planner  
Geoffrey Creary, Design and Technology Director  
Colin Murtoff, GIS Planner  
Albert Park, Design Planner  
Gina French, Graphics Supervisor  
Christopher Bittle, Senior Graphics Specialist

**Funding**

Funding was provided by West Whiteland Township and through the Chester County Vision Partnership Program, sponsored by the Chester County Board of Commissioners. This Plan has been prepared in conjunction with the principles of Chester County's comprehensive plan policy Landscapes3, as a means of achieving greater consistency between local and county planning programs.

# Table of contents

|  |            |
|--|------------|
| <b>Acknowledgments .....</b>                               | <b>1.0</b> |
| <b>Table of contents .....</b>                             | <b>1.1</b> |
| <b>Vision Statement .....</b>                              | <b>1.2</b> |
| <b>Introduction.....</b>                                   | <b>1.3</b> |
| <b>Chapter 1, Safe, Healthy &amp; Walkable.....</b>        | <b>1</b>   |
| <b>Chapter 2, Natural &amp; Historic .....</b>             | <b>21</b>  |
| <b>Chapter 3, Trusted, Reliable, &amp; Efficient .....</b> | <b>37</b>  |
| <b>Chapter 4, The Crossroads.....</b>                      | <b>55</b>  |
| <b>Chapter 5, Livable &amp; Vibrant .....</b>              | <b>69</b>  |
| <b>Chapter 6, Implementation.....</b>                      | <b>89</b>  |
| <b>Appendices A-F .....</b>                                | <b>93</b>  |



## »»»»» Vision Statement

West Whiteland Township will remain a vibrant, welcoming community for residents, businesses, and visitors. The Township will balance the needs of its neighborhoods and commercial centers, honor its historic and environmental resources, and promote a multimodal transportation network. Through responsible growth, thoughtful redevelopment, and careful preservation, the Township will provide high-quality, cost-effective services that prioritize safety, sustainability, and overall quality of life.

# »»»»» Introduction; A framework for the township's future

## **I Comprehensive Plan Purpose**

A comprehensive plan is an adopted policy document that is intended to provide long-range guidance for the Township regarding topics such as land use, transportation, economic development, housing, public facilities, historic resources, and environmental resources. A comprehensive plan provides the Township with but not limited to a framework of policies and actions on which to rely when responding to evolving challenges and opportunities.

This comprehensive plan, created with involvement of residents, elected officials, and Township staff, defines a vision for West Whiteland's future and provides a series of actions to achieve that vision. Developed as an implementable plan, which follows a different process and format than traditional comprehensive plans, this document is intended to be as specific as possible to the Township's goals. Focusing on the most pressing challenges and opportunities, this plan provides guidance to the Township to make the most efficient use of municipal resources. West Whiteland's previous comprehensive plan was adopted in 1994 and last amended in 2022.

## **II Comprehensive Planning in Pennsylvania**

This comprehensive plan was completed in compliance with the Pennsylvania Municipalities Planning Code (MPC), Act 247 of 1968, as reenacted and amended. The MPC enables municipal land use controls in Pennsylvania and provides the framework for developing and implementing comprehensive plans and local land use regulations, such as a zoning ordinance. The MPC calls on municipalities to review comprehensive plans every ten years.

### III Planning Process

Development of this plan was led by a task force consisting of a diverse group of Township citizens, inclusive of representatives of the Planning Commission, the Board of Supervisors, and Township staff. In addition to regular monthly meetings of the task force, the process included:

- Stakeholder interviews in December-January 2024-2025
- Public survey conducted in October-January 2025
- Public open house on October 29, 2024
- Public meeting on October 29, 2025
- MPC mandated public meeting-TBD
- MPC mandated public hearing-TBD

The task force analyzed and evaluated pertinent information affecting the Township and recommendations were crafted to meet the challenges and opportunities identified through the planning process. Everything evaluated by the task force was further shared with the public for review and endorsement.

### IV How to Use This Comprehensive Plan

This plan is intended to guide Township actions over the next ten years, through 2036. The Township should conduct periodic progress reviews and perform a more in-depth assessment in 2031 to ensure goals and objectives remain aligned with community needs and priorities.

#### This plan is divided into three sections:

**Issues and Priority:** These chapters address community-identified issues, outlining broad goals achieved through specific objectives and recommendations. Each recommendation includes its significance and the necessary actions for implementation.

**Implementation:** This chapter consolidates the recommendations into a table which identifies priority level, parties responsible for implementing, and suggested strategies.

**Appendices:** The appendices include supplemental context information, neighboring municipal planning and zoning, a summary of the public survey results, and a compilation of maps.

*A Public Open House was held in October 2024 to afford residents the opportunity to discuss issues to consider as part of the comprehensive plan update.*



»»»»» 1.0 Safe, healthy, and walkable. Transportation & mobility connections.





## 1.1 Introduction

An integrated and multi-modal transportation network is vital for ensuring safe and efficient travel for residents and visitors within and beyond the Township. This network enhances safety and mobility for vehicles, pedestrians, and cyclists, while also providing access to public transportation, promoting health benefits, and reducing emissions.

Located at the crossroads of major thoroughfares used by both residents and visitors, West Whiteland faces the challenge of balancing community needs with the demands of the broader public that utilizes its transportation infrastructure (See Appendix A-3, Circulation for an inventory of transportation-related items).

## 1.2 Goal & Objectives

Promote a safe, effective, and diversified circulation system to address existing and future needs in coordination with land use planning and resource protection objectives.

- A. Identify measures to coordinate the Township and State's transportation system with current needs.
- B. Improve safety, multi-modal circulation, and connections between key destinations within and near the Township.
- C. Support continued implementation of the Bike and Pedestrian Plan (B&PP) and further appropriate extensions of pedestrian and cyclist infrastructure for increased access to parks, open spaces, the Town Center, transit facilities, and other opportunities.
- D. Improve traffic flow, manage congestion, and increase connectivity to the major corridors within the Township.
- E. Encourage a pedestrian oriented (re)development patterns which incorporates placemaking elements, traffic calming, and amenities for multi-modal circulation when appropriate.
- F. Support continued improvements to public transportation service and infrastructure in the Township.

### 1.3 Recommendations



#### **1 Ensure road standards and Township policy advance both safety and efficient mobility for all users and minimize conflict with contemporary best practices.**

**WHY:** The Township is traversed by major routes that serve both local and regional traffic. Growth within both the Township and broader region has impacted all users of the overall network. (See Appendix B for a full demographic profile and historic growth trends) Policies that improve overall user safety and endorse best practices for road design are critical for supporting vehicular travel, further multi-modal connections, and incorporation complete street principles where appropriate.

**HOW:** At the direction of the Board of Supervisors, Township staff should work in conjunction with the Township Engineer, or their designee, and continue partnerships with outside organizations to implement the following:

- A. Investigate and consider adoption of a formal “complete streets” policy for the Township. A “complete streets” policy sets a framework for transforming the existing road network into one that promotes and provides opportunities for safe passage using all modes of transportation. The [Chester County Complete Streets policy](#) could be utilized as a starting point in the development of this type of policy.
- B. Consider amendments to [Article IV](#) of the Subdivision and Land Development Ordinance (SLDO) to require street interconnections to existing stub streets and dead ends when practicable.
- C. Continue to evaluate and amend as appropriate [§325-42](#) of the zoning ordinance for traffic impact studies to ensure contemporary best practices and strategies are addressed as part of required studies for (re)development.
- D. Monitor and determine if warrants are met to implement traffic calming measures to address possible increased traffic flows or vehicle speeds used for regional travel purposes along Township-owned streets. Analyze speed and volume data collected by the Police Department as a starting point; roads with increased traffic could be evaluated for potential traffic-calming measures.
- E. Encourage large local businesses to develop Transportation Demand management plans.



**2 Continue coordination with PennDOT District 6 to ensure state-maintained roads evolve to advance safety and efficient mobility for all users.**

**WHY:** State-maintained roads through the Township provide critical connections for both local and regional users. The Township should work in partnership to advance targeted safety and multi-modal improvements on PennDOT thoroughfares. (see Appendix F, Roadway Ownership & Estimated Daily Traffic map).

| State maintained (PennDOT) roads          | Length (mi) |
|---|-------------|
| US Route 30                               | 4.36        |
| US Route 202                              | 1.39        |
| Pennsylvania Route 100 (Pottstown Pike)   | 2.46        |
| Business US Route 30 (Lincoln Highway)    | 4.27        |
| Pottstown Pike (South of Route 100 split) | 1.02        |
| Boot Road                                 | 3.29        |
| Grove Road                                | 0.82        |
| King Road                                 | 2.08        |
| Phoenixville Pike                         | 1.43        |
| Ship Road                                 | 3.37        |
| Whitford Road                             | 2.66        |
| Copeland School Road                      | 0.65        |

**HOW:** At the direction of the Board of Supervisors, Township staff should work in conjunction with the Township Engineer, or their designee, to advance Township objectives as part of PennDOT Connects and their ongoing maintenance and long-term projects for their network. Specific actions can include:

- A. **US Route 30 Bypass** – Advocate for drainage improvements to the westbound lanes, just west of the PA Route 100 intersection. This improvement is included as a future development on the Transportation Improvement Inventory (TIP) as of 2025.
- B. **PA Route 100 (Pottstown Pike)** – Advocate for and implement multi-modal improvements to PA Route 100 between US Route 30 and Sunrise Boulevard. Specifically, sidewalk gaps and intersection improvements identified in the Bicycle and Pedestrian Plan (B&PP) should be prioritized. Additional opportunities to provide for safe pedestrian/bicycle travel should be evaluated and implemented where appropriate as part of the land development process. Further coordination should be had to implement additional streetscape elements as identified in The Crossroads recommendation 4.3.A.



*A third northbound lane is proposed to extend from Pottstown Pike to the US Route 30 Bypass. This will help alleviate congestion with additional capacity approaching the Town Center.*

- C. **Lincoln Highway** – Advocate for pedestrian/bicycle improvements along the corridor to connect residential areas to both Exton Park and the Town Center. Specifically, the sidewalk gaps and intersection improvements identified in the B&PP and safety and visibility improvements of the Chester Valley Trail (CVT) crossing should be prioritized. Further coordination should be had to implement additional streetscape elements as identified in The Crossroads recommendation 4.3.A.

Advocate for targeted drainage and stormwater improvements along the corridor as many sections were developed prior to incorporation of modern facilities. Specifically, numerous intersections along the corridor should be evaluated for these improvements, including but not limited to its intersections with Fairway Lane, Keva Drive, Route 100, Brazier Lane, and to Ship Road.

- D. **Whitford Road** – Advocate for improvements to the SEPTA underpass to improve mobility for all users and provide for better access to Whitford Station and the proposed CVT extension within the Philadelphia & Thorndale (P&T) corridor. Advocate for incorporation of the various proposed pedestrian/bicycle mobility improvements identified in the B&PP to create a safe route between the CVT extension to Oaklands and the CVT P&T extension.

Advocate for installation of an advance, underpass early warning system approaching the low clearance underpass for the Amtrak/SEPTA Right-of-Way to reduce/eliminate underpass collisions and their associated delays.

- E. **Ship Road** – Support efforts to replace the bridge spanning Valley Creek just north of Lincoln Highway. This improvement is included as “in development” on the TIP as of 2025.

Advocate for a future connection from the multi-use path south of Lincoln Highway to the CVT P&T just south of US Route 30. Continue to support implementation of safety improvements with intersections at both Boot and King Roads as identified on the Transportation Improvement Inventory (TII).

Advocate for installation of an advance, underpass early warning system approaching the low clearance underpass for the Amtrak/SEPTA Right-of-Way to reduce/eliminate underpass collisions and their associated delays.

Advocate for targeted drainage and stormwater improvements along the corridor between King Road and US Route 30 as most of this section does not have modern facilities.

- F. **Boot Road** – Support implementation of safety improvements with the intersection at Ship Road as identified on the TII. Advocate for incorporation of the various proposed pedestrian/bicycle mobility improvements identified in the B&PP.

- G. Ensure that traffic signals throughout the Township are optimized to maximize efficient vehicular traffic flow and pedestrian safety. In coordination with PennDOT, programs such as Green Light – Go can provide funding opportunities to implement these types of upgrades.

- H. Consider participation in the PennDOT sponsored Adopt & Beautify and Keystone Pollinator Habitat programs to visibly enhance areas within PennDOT rights-of-way. These native plantings can further biodiversity goals with additional habitat for native pollinators and provide for placemaking elements to prominent Township intersections



### **3 Continue coordination with SEPTA, Amtrak, and other service providers to enhance existing transit services and support efforts to expand commuter transportation options.**

**WHY:** With its central location, and presence of both bus and rail connections, the Township is a significant transit hub for Central Chester County. Opportunity exists to enhance existing services and facilities and consider additional transit connections (See Appendix A, Section A-3-G for additional information on Public Transit).

#### **HOW:**

A. Continue to coordinate with SEPTA and Amtrak regarding long-term planning for enhancements to their rail infrastructure in the Township. Specifically, consideration should be given to:

1. **Exton Station** – Support efforts to complete a bus loop and shelter to improve multi-modal access at the station (this improvement is included on the TIP as of 2025). Continue to advocate for a return of service levels on Regional Rail to those in place prior to reductions resulting from the COVID-19 pandemic. Support a direct connection from the CVT West extension to the station.
2. **Whitford Station** – Support efforts to improve mobility and access to the station as noted in Recommendation 1.3(2)(D). Continue to advocate for a return of service levels on Regional Rail to those in place prior to reductions resulting from the COVID-19 pandemic.
3. **Other rail infrastructure** – Establish a point of contact with Amtrak to direct concerns with drainage issues, refuse, and/or overgrowth within their right-of-way and have them addressed.

B. Continue to coordinate with SEPTA regarding long-term planning for enhancements to their bus infrastructure in the Township. Specifically, consideration should be given to:

1. Advocate for timing of bus services that provide access to Exton Station to better sync with the Regional Rail and/or Amtrak schedule. A seamless transfer to the Paoli/Thorndale Line and/or Amtrak can result in greater usage of bus service.
2. Consider the future of the location of the Exton Transit Center. With the redevelopment of Exton Square Mall, and completion of a bus loop at Exton Station, consideration should be given if the Center should be relocated to best optimize overall use and efficiency of the bus network.
3. Advocate for enhanced service in the Town Center area. Consideration can be given to establishment of a circulator bus or of a microtransit zone to serve the Town Center along PA Route 100 from Exton Station to Sunrise Boulevard.
4. Consider amending the subdivision and land development ordinance to require bus shelters be installed as part of land development activities over a defined square footage and/or residential unit count fronting a roadway with bus service. Any amendment should also be inclusive of interior access to the bus stop, not just the facility adjacent to the cartway.
5. Last mile connections bridge the gap from transit to the passenger's final destination. These connections can optimize existing transit infrastructure by providing viable alternatives to single, vehicular trips. The Township can advance more of these connections through targeted pedestrian infrastructure upgrades and investigations into the feasibility of micromobility (bikeshare, scooters, etc.) and microtransit solutions with other partners.

- C. Promote ridesharing as a viable commuter option. Working with the Transportation Management Association of Chester County (TMACC), Share-A-Ride and shuttle services could be encouraged as a commuter option. Share-A-Ride supports carpooling and is a ride matching web-based platform which is managed by the Delaware Regional Planning Commission (DRVPC) and administered through TMACC. The Township could assist in promoting this service through their website and social media channels.
- D. Promote the Chesco Connect bus service provided by Chester County as a viable transit option for both seniors and residents with disabilities. Chesco Connect provides for economical transit services that can address mobility issues as well as promote aging-in-place.
- E. Advocate for establishment of inter-city bus service. This type of service could originate from the Exton Transit Center or Exton Station upon completion of the bus loop and provide for an additional transit option for destinations across the Delaware Valley and beyond. The Township could partner with the broader region in the development of a survey to determine what destinations would be best served from Exton before reaching out to transit providers on establishment of new service.
- F. Consider additional park and ride options to promote carpooling to reduce overall vehicular traffic. Township staff could work with developers to incorporate dedicated park and ride facilities as part of any redevelopment of commercial areas of the Township.



*Completed in 2020, the rebuilt Exton station incorporates full ADA-access, high-level boarding platforms, a station building, and additional train shelters.*









#### 4 Continue to develop a robust pedestrian and bicycle network providing for safe connections between the Town Center, parks, existing neighborhoods, and other community assets.

**WHY:** With a transportation system predominately designed to facilitate vehicular movement, the provision of new and expanded infrastructure is essential to promote safe and efficient pedestrian and cyclist travel. A comprehensive network connecting neighborhoods with commercial centers, transit infrastructure, recreational facilities, and regional trails can facilitate walking and biking as viable transportation alternatives. The Township is further served by regional and Circuit Trails that provide safe connections to destinations throughout the broader region.

**HOW:** Through the land development process, road projects, and the capital improvements program, the Township can expand the pedestrian and bicycle network. Specific actions can include:

- A. Continue implementation of the [Bike and Pedestrian Plan \(B&PP\)](#) to establish an interconnected and comprehensive network of pedestrian and bicycle facilities throughout the Township. As the B&PP was adopted in 2019, the Township should reexamine it to determine if proposed improvements should be added or removed from its listing.

Since its adoption, the Township has been successful in getting elements of the B&PP implemented through the land development process and in partnership with PennDOT. Assuming a re-examination of the plan does not result in significant changes, potential prioritization of projects could include:

- 1. Connection to and completion of identified gaps in the bike/pedestrian network in the Town Center should be of the highest priority. Since the B&PP was adopted, significant residential development has occurred within and just outside of the Town Center. With this increase in population, having a safe and interconnected bike/pedestrian network enhances overall quality of life and improves overall safety for all users of the mobility infrastructure. Specific areas of focus should be on completing gaps along both Pottstown Pike and Lincoln Highway, enhanced safety for the crossing of Pottstown Pike, and connections to parks facilities and the CVT.



*At the time of writing, the CVT provides for safe pedestrian and bicycle passage from the Town Center to Exton Park, and points beyond to the east.*

2. Medium to High priority could be placed on connections to County Trails listed under Recommendation 4.D. below. Specifically, coordination should be had between the Township and Chester County as to the timing of expansion of County trails. This will allow for the Township to work with other partners to identify funding to create connections to the County facilities from the existing Township network. Specific areas of focus can include connections along both Ship and Whitford Roads to the CVT West expansion and for the connection to the Chester County Library with any redevelopment of Exton Mall.
  3. Low priority could be placed on neighborhood connections outside of the Town Center. These connections generally connect residential neighborhoods with adjoining bike/ pedestrian facilities and recreational facilities.
- B. Review and amend as appropriate sections of the zoning and subdivision and land development ordinances to further advance pedestrian and bicycle network facilities and infrastructure. The municipal report for West Whiteland developed as part of the CCPC's Active Transportation Inventory in 2020 can serve as a starting point for this effort that includes recommendations for specific standards that regulate trails, sidewalks, bicycle facilities, and bus stops.
  - C. The Official Map affords West Whiteland a stronger position to negotiate for construction of pedestrian and bicycle facilities as part of land development applications and/or PennDOT projects. The most recent update for the Official Map was completed in 2019 and it should be revisited periodically to ensure the proposed pedestrian and cyclist enhancements are still valid and/or if additional enhancements should be formally incorporated and adopted on it.
  - D. The Chester County Trails Master Plan identifies several existing and future trail alignments that would form an interconnected network of facilities and improve pedestrian and bicycle circulation in both the Township and region as a whole. Actions specific to each of these regional trails can include:
    1. **Chester Valley Trail (CVT)** – The CVT Philadelphia and Thorndale (P&T) extension through the Township will follow the alignment of the former P&T Line from Ship Road to the municipal boundary with East Caln. The Township should support continued efforts of Chester County to complete this extension inclusive of public access points and/or trailheads at Ship Road, Exton Station, and Whitford Station.
    2. **Uwchlan Trail (UC)** – The UC enters the Township from the municipal boundary with Uwchlan along Ship Road and extends to Old Valley Hill Road. The Township should support County efforts to extend the UC south through the passive areas of the County's owned portion of Exton Park located north of Swedesford Road to connect with the established trail network in the Township's owned Exton Park. This will facilitate a direct connection to the CVT from the UC.
    3. **Whitford Road Connector (WRC)** – The WRC is a proposed sidewalk/trail connector to serve as a connection between the CVT P&T at Whitford Station and the CVT extension to Oaklands. The Township should advocate for additional right-of-way and/or an extension of the sidewalk in place south of Clover Mill Road to the Oaklands extension. This connector could be completed through the land development process or as part of a broader PennDOT project.
    4. **Exton Square Connector (ESC)** – The ESC is a proposed sidewalk/trail connector that would serve as a connection between the CVT and Exton Square. This connector should be included as part of any redevelopment of the mall site and provide for a connection to both the Chester County Library and other appropriate commercial facilities.

*Throughout the Township are numerous opportunities for the systematic and logical expansion of the pedestrian network. This graphic illustrates the condition in 2025 and a photo-simulation with a sidewalk extension along the northern frontage of the 500 block of Waterloo Boulevard.*





*This concept of the CVT crossing of Lincoln Highway provides for enhanced pedestrian and cyclist safety as well as a more defined gateway into the Town Center.*

*CVT crossing of Lincoln Highway at time of writing.*



*A landscaped median island alerts motorists to the crossing as well as provides trail users a refuge island if the signal changes mid-crossing.*



Chester Valley Trail

XING

DO NOT ENTER

STOP HERE ON RED

AUTHORIZED VEHICLES ONLY

CHESTER VALLEY TRAIL





*The CVT West extension envisions a trail along the alignment of the former Philadelphia + Thorndale rail corridor from Ship Road to East Caln through the Township. This graphic illustrates the condition in 2025 and a photo-simulation of the completed trail west of Whitford Road.*



## **5 Continue to implement appropriate and prudent methods to fund transportation improvements.**

**WHY:** Developing transportation infrastructure is a significant investment that requires time and resources from the Township. To ensure these projects are successful, funding is proactively planned for many years in advance. This approach allows the Township to effectively manage costs related to engineering, construction, and the long-term maintenance of the expanded infrastructure, ultimately leading to better service for our community.

**HOW:** At the direction of the Board of Supervisors, Township staff should work as part of the budgeting process to both identify and target sources of revenue to plan for, implement, and maintain transportation infrastructure. Areas to consider as part of this process can include, but is not limited to:

- A. Continue to seek federal transportation dollars for road, intersection, and multi-modal improvements by identifying and listing projects on both the [Transportation Improvements Inventory \(TII\)](#) and [Transportation Improvement Program \(TIP\)](#) every two years. This effort should be in partnership with both the Delaware Valley Regional Planning Commission (DVRPC) and Chester County Planning Commission (CCPC). (See Appendix A, Section A-3-I for a full listing of these projects in 2025).
- B. Monitor and update as needed the Land Use Assumptions Report, Roadway Sufficiency Analysis, and Transportation Capital Improvements Plan adopted by reference under [Chapter 295 for Transportation Impact Fees](#). With significant (re)development in the Township since establishment of Chapter 295, The Township should ensure these documents still adequately reflect both the existing and anticipated future need of transportation improvements.
- C. Review and amend Capital Improvements Plan (CIP) as appropriate. In November 2015, the Township adopted a formal CIP to identify transportation projects that could be funded through collected transportation impact fees. The Township should revisit this CIP to remove completed projects as well as to add and amend existing projects on it.

## 1.4 References and Resources

- CCPC Transportation Improvements Inventory - <https://www.chescoplanning.org/transportation/tii.cfm>
- CCPC Complete Streets - <https://www.chescoplanning.org/transportation/CompleteStreets.cfm>
- Chester County Public Transportation Plan - <https://www.chescoplanning.org/transportation/PTP.cfm>
- Chester County Trails Master Plan - <https://chescoplanning.org/transportation/TrailsMasterPlan.cfm>
- The Circuit Trails - <https://circuittrails.org/>
- Chester County Multi-modal Handbook - <https://www.chescoplanning.org/MuniCorner/MultiModal/ch1-intro.cfm>
- PennDOT Connects - <https://www.pa.gov/agencies/penndot/research-planning-and-innovation/penndot-connects.html>
- PennDOT Pennsylvania's Traffic Calming Handbook - <https://www.dot.state.pa.us/public/pubsforms/Publications/PUB%20383.pdf>
- DVRPC Pedestrian Planning - <https://www.dvrpc.org/transportation/pedestrian/>
- DVRPC Bicycle Planning - <https://www.dvrpc.org/transportation/bicycle/>
- DVRPC SEPTA Bus Stop Design Guidelines - <https://www.dvrpc.org/products/18029/>
- SEPTA Forward - <https://www.septa.org/initiatives/septa-forward/>
- Transportation Management Association of Chester County (TMACC) - <https://tmacc.org/>
- TMACC Share-a-ride - <https://sharearide.agilemile.com/tmacc>
- Grant funding resources:
  - Transportation and Community Development Initiative (TCDI) - <https://www.dvrpc.org/TCDI/>
  - Transportation Alternatives Set-Aside Program (TA) - <https://www.dvrpc.org/TAP/>
  - Congestion Mitigation and Air Quality Improvement Program (CMAQ) - <https://www.dvrpc.org/CMAQ/>
  - PA DCED Multimodal Transportation Fund - <https://dced.pa.gov/programs/multimodal-transportation-fund/>
  - PennDOT Green Light-Go - <https://www.dot.state.pa.us/public/Bureaus/BOMO/Portal/TS-Portal/FUNDGLG.html>
  - PennDOT Safe Routes to School (SRTS) - <https://www.pa.gov/agencies/penndot/research-planning-and-innovation/transportation-alternatives-set-aside-program/safe-routes-to-school.html>
  - Vision Partnership Program (VPP) - <https://www.chescoplanning.org/municorner/vpp.cfm>



➤➤➤➤➤ **2.0** Natural and Historic  
resource protection  
and preservation



## **2.1 Introduction**

The Township's natural and historic resources are vital to its overall sense of place and community character. With preserved open spaces and over 200 historic properties that reflect its story, these resources influence many aspects of life in West Whiteland. Protecting them is essential for community identity, health, and future resilience.

## **2.2 Goal and Objectives**

Protect and preserve natural and historic resources to strengthen the Township's environmental sustainability, resilience, beauty, and sense of place.

- A. Pursue creative stormwater management techniques and partnerships to most effectively reduce stormwater volume and to improve water quality.
- B. Advance public education initiatives to foster community action to preserve and protect natural and historic resources.
- C. Ensure and enforce regulatory controls continue to best preserve and protect natural and historic resources.
- D. Consider gaining Certified Local Government status to further advance historic preservation efforts. Encourage stewardship by engaging in sustainable practices, that promote conservation efforts.

## 2.3 Recommendations



### 1 Improve and prioritize Township stormwater management efforts to protect public safety and ensure full compliance with state and federal mandates for water quantity and quality.

**WHY:** According to the [2025 Brandywine Flood Study](#), over 800 acres, representing 565 parcels and 194 structures that are greater than 400 square feet, are located within the 100-year floodplain in the Township. Further, significant areas of the Township were developed before implementation of modern stormwater management techniques and lack or have limited infrastructure to manage it. This issue is common throughout the region as well as the Township.

**HOW:** Through effective stormwater management practices, flooding risk can be minimized, and surface and groundwater quality can be improved. Stormwater management practices are impacted through regulatory, educational, and infrastructure improvements as required through federal and state regulations, including Municipal Separate Storm Sewer Systems (MS4) regulations.

Taking a proactive role to minimize negative impacts resulting from stormwater runoff is essential. Chapter 270 of the Township Code addresses stormwater management and contains stringent requirements for new development and redevelopment projects in the Township as they relate to stormwater. The Township further established a Stormwater Task Force (STF) in January 2024. The STF is tasked to investigate, study, identify, and make recommendations on funding opportunities for existing and future stormwater and flood resilience management planning.

How stormwater is addressed should be an on-going effort involving Township staff, the Township Engineer, the Pennsylvania Department of Environmental Protection (PADEP), and the Chester County Conservation District (CCCD), and continued community engagement and input. As part of these on-going efforts, specific actions can include:

- A. Plan for stormwater capital improvements. The STF developed a prioritized list of stormwater projects as part of a capital improvements plan (CIP). This list should be regularly reviewed and amended as projects are both completed and newly identified.
- B. Identification of funding sources. The Township does allocate some funding for stormwater improvements, but additional funding sources should also be identified as part of the CIP to more effectively advance their implementation.
- C. Introduce adding proposed stormwater improvements and facilities to the Official Map. This will facilitate incorporating these projects into land development applications and PennDOT initiatives.
- D. The Township Engineer, working with Township staff, should identify and prioritize Township-owned properties suitable for new or enhanced/retrofitted stormwater facilities. These demonstration projects can serve to both address MS4 goals and provide residents and businesses with examples of Best Management Practices (BMPs) they might also replicate to address stormwater issues. If MS4 goals could be more effectively met by projects on property not owned by the Township, the Township might consider pursuing partnerships with these landowners to implement projects.

- E. Consider ordinance amendments as required by state and federal regulatory authorities or identified by the Township Engineer. Any amendments should be contemporary and efficient to address MS4 permit and regulatory requirements, inclusive of Chapter 270, Chapter 281 Subdivision and Land Development (SLDO), and Chapter 325 Zoning. At a minimum, these Chapters should be periodically reviewed to ensure consistency and eliminate conflicts between the three ordinances, and that the most up-to-date BMPs are permitted.
- F. Explore sustainable funding for stormwater management projects and compliance with MS4 and Pollution Reduction Plan requirements. Assess options for additional grants, bonds, and new funding sources to meet statutory obligations. The Township monitors real-time costs of stormwater infrastructure to inform a potential future stormwater fee to address this unfunded mandate.
- G. Encourage adopting a regional approach toward issues in stormwater management through maintaining communications with surrounding municipalities regarding stormwater initiatives.
- H. Examine the effects of road salting on water quality and explore alternatives when needed. Options may include environmentally friendly products and road materials that reduce the freeze-thaw cycle's impact.
- I. Continue to promote strategies and create initiatives to improve stormwater management in established neighborhoods. Consideration could be given to the following initiatives to promote best practices in stormwater management:
  - 1. Encourage and educate residents on the benefits of planting of native vegetation and creation of green infrastructure facilities such as rain gardens, bioswales, and rain barrels to reduce stormwater runoff.
  - 2. Provide information to residents regarding BMPs for restoring residential riparian buffers and maintaining naturally landscaped lawns, managed meadows, and/or pollinator gardens.
  - 3. Consider Township sponsored educational programs for residents and businesses on voluntary actions that positively impact water quality and quantity. These actions can include implementation of water quality BMPs and planting trees within riparian buffers. Organizations such as the Valley Creek Restoration Partnership and the Chester County Conservation District can provide materials and programs to help support these Initiatives.



*All new development and redevelopment are required to address impacts for both the quality and quantity of stormwater runoff. This is an example of dry pond completed as part of the Wawa redevelopment at 690 Lincoln Highway. This type of facility allows for pollutants and sediment to settle out of water, as well as manage the volume of stormwater runoff in order to minimize flooding impacts.*





## 2 Coordinate with community partners to advance stewardship, further preserve and naturalize protected open space and waterways of the Township.

**WHY:** Over 2,000 acres (24.7%) of protected open space are in the Township, under the control of governmental entities, land trusts, and/or HOAs (see Appendix A-6-F for a breakdown of open space by type). This large acreage of preserved land in a more developed Township is a defining characteristic and invaluable component in the high quality of life experienced in the Township. In addition to providing areas for both active and passive recreation, targeted areas of open space can also advance other Township policies from improved stormwater management to areas supporting wildlife habitat with appropriate stewardship and ongoing maintenance.

**HOW:** Township staff, at the direction of the Board of Supervisors, should engage in discussions with neighboring municipalities and conservation organizations such as the Brandywine Conservancy and Natural Lands to develop high-quality stewardship and land management practices for preserved land. The Township could reach out to HOAs to promote best practices for the conservation and improvement of environmental functions. The Township should incorporate similar practices on Township owned land. Specific actions can include:

- A. Pursue training opportunities for public works staff in natural lands stewardship and gardening to make more native and naturalistic landscaping possible at Township-stewarded facilities.
- B. Investigate the feasibility of targeted wetland and/or stream restoration projects on Township properties. These types of projects promote biodiversity through the restoration of original habitat and provide opportunities for enhanced stormwater management. Opportunities for grant funding through the PADEP and other partners could be pursued once a location(s) has been identified.
- C. Identify opportunities to convert grass lawns to meadows, replace non-native plants with native species, and pursue reforestation opportunities on municipal lands where appropriate with guidance from conservancies and the County Conservation District.
- D. Regularly review and amend the native species and recommended plantings list to reflect newly identified growth regions.
- E. West Whiteland has achieved a “gold” certification through [Sustainable Pennsylvania](#) and further been designated as both a [Bird Town](#) and [Tree City USA](#). These designations can be utilized to help leverage additional funding resources to advance stewardship efforts.



*Located within the Valley Creek floodway, the homes on Locust Lane were purchased by the Township through the federal Hazard Mitigation Grant Program, with homeowner approval, demolished, and preserved as protected open space. This graphic illustrates the condition in 2025 and a photo-simulation of the properties with turf lawns converted to meadows and reestablishment of a riparian buffer.*



### **3 Review and amend natural resource protection standards to advance protection, stewardship, restoration, and interpretation of natural resources.**

**WHY:** While the Township has regulatory standards in place for certain resources, it is critical to regularly review and amend natural resource protections as warranted to have the most contemporary protection and stewardship standards in place.

**HOW:** As part of the development of the Comprehensive Plan, the Township's resource protection standards were assessed for their effectiveness in protecting the community's natural resources and reducing the impacts of development and/or other disturbance (See Figure 2.1). This review further provides suggestions for potential improvements the Township may consider as part of future amendments. See Appendix A-5 for a full inventory of Natural Resources in the Township.



*Freshwater ponds, like this facility along Valley Creek near Exton Park are regulated as wetlands under the Township Code.*

**Figure 2.1 Natural Resource protection evaluation**

**Steep Slopes** Ordinance Section: ZO Article XI **SOMEWHAT PROTECTED**

**CURRENT STANDARDS**

- Establishes prohibitive slopes as 25%+, and precautionary slopes as 15-25%.
- Limits uses in prohibitive and precautionary slopes

**POTENTIAL IMPROVEMENTS**

- Include maximum disturbance limitations of 30% for areas with slopes of 15 to 25%.
- Include maximum disturbance limitations of 15% for areas with slopes > 25%.
- Also consider adding steep slope regulations that include: a listing of specific activities or uses prohibited on steep slopes

**Woodlands** Ordinance Section: SLDO §281-34 **SOMEWHAT PROTECTED**

**CURRENT STANDARDS**

- No person may cut or remove any mature tree without compensatory planting.
- Every effort shall be made to retain as much of a wooded area as possible of a size and configuration that will promote its natural growth and regeneration.

**POTENTIAL IMPROVEMENTS**

- Include regulations that limit disturbance of a wood lands to a maximum of 50%.
- Consider adding tree protection regulations that: prohibit disturbing specimen trees and PNDI sites unless there is no feasible alternative.

**Wetlands** Ordinance Section: SWM §270-25(L) **SOMEWHAT PROTECTED**

**CURRENT STANDARDS**

- No disturbance without state and federal permits.

**POTENTIAL IMPROVEMENTS**

- Consider adding regulations that establish a margin around all wetlands (50 to 75-feet wide).
- Within this margin, land disturbance would be limited to no more than 20% or prohibited

**Riparian Buffers** Ordinance Section: SWM §270-15(T) **PROTECTED**

**CURRENT STANDARDS**

- Establishes a three-zone riparian buffer area.
- Zone 1 – 25' with no disturbance
- Zone 2 – 125' buffer extending from Zone 1 with limited disturbance

**POTENTIAL IMPROVEMENTS**

- For PA Special Protection Waters consider regulations that establish a riparian buffer in accordance with the PADEP's Chapter 102.

**Floodplain** Ordinance Section: ZO Article XIII **PROTECTED**

**CURRENT STANDARDS**

- Last updated in 2017 to remain consistent with contemporary practices.



#### **4 Empower community action through Township-led education and resources, inspiring collective efforts to protect and preserve our precious natural resources.**

**WHY:** West Whiteland has a large network of dedicated and informed citizens with strong connections to the community. Providing educational opportunities and encouraging community engagement can foster greater citizen investment in Township resource efforts to protect and preserve resources.

**HOW:** Township staff, in partnership with outside advocacy groups and organizations, can engage the community to promote initiatives that advance resource protection and preservation throughout the Township. In addition to having dedicated portions of the Township website identifying appropriate resources and holding targeted community events and education sessions, specific actions can include:

- A. Natural resource and sustainability related initiatives:
  - 1. Consider establishment of an Environmental Advisory Committee as outlined in Reliable & Efficient Recommendation 3.3(3)(A).
  - 2. Provide information on residential stormwater management opportunities as outlined in Recommendation 2.3(1)(H).
  - 3. Encourage participation in programs such as the [Penn State Extension Master Gardeners of Chester County](#) that educate the public on best practices in cultivation and environmental stewardship.
  - 4. Promote energy conservation at the household level through residential education and outreach. Such education could focus on providing information on programs like PECO's Energy Assessment, which offers home energy evaluations and efficiency recommendations. Additionally, residents can benefit from state programs such as the [Department of Community and Economic Development \(DCED\) Weatherization Assistance Program \(WAP\)](#), which helps low-income households reduce energy costs through insulation and heating system upgrades.
  - 5. Promote sustainable business practices. A voluntary "Sustainable Storefronts" program could incentivize more sustainable practices by the local business community. This program could include recognition of businesses that institute sustainable best practices and providing educational materials on the financial benefits of sustainable practices.

6. Consider creation of a Township green building certification. This type of voluntary certification serves to both encourage more sustainable and environmental practices as part of the development process as well as publicly acknowledge developers incorporating these practices. The [West Chester Sustainable!](#) certification offered by the Borough could serve as a model to develop this type of program. This initiative could be led by the Public Services Commission (PSC) or an EAC if established.

B. For historic resource related initiatives, the following efforts can be considered:

1. Participate in [Town Tours & Village Walks](#), which is a program offered through the Chester County Planning Commission. The Township has previously participated as part of this program and should again consider participation as part of a future series.
2. The Historical Commission should continue their efforts leading to the installation of targeted historic and heritage signage, panels, and/or banners throughout the Township, that promote awareness of, and connection to historic resources in the community.



*The Township has previously participated as part of the CCPC-led Town Tours & Village Walks program. This was from the event held at Whitford Hall off Lincoln highway, which was constructed circa 1796 and is listed on the National Register of Historic Places.*



## 5 Continue efforts to ensure historic resources remain an integral and vibrant part of the Township's fabric.

**WHY:** With over 200 resources identified on its historic resources listing (See Appendix F, Historic Resources map), West Whiteland has made it a priority to ensure that these resources are preserved and reused to meet the needs of the community. The emphasis on protecting these resources is foundational to characterizing the Township's sense of place.

**HOW:** Appointed by the Board of Supervisors, the Historical Commission (HC) leads Township efforts as they relate to historic preservation. With support from Township staff, the HC should continue their efforts as well as look to additional measures to advance preservation goals. Specific actions can include:

- A. [Article XVI](#) of the zoning ordinance addresses historic preservation in the Township. These provisions should be reviewed regularly to ensure they are up-to-date and best manage historic resources in the Township. Potential amendments could include:
  1. Consider amending [§325-25](#) for conversion of dwellings to ensure standards are appropriate for parking minimums, lot area per dwelling unit, and setbacks to better encourage conversions where appropriate.
  2. If [Certified Local Government \(CLG\)](#) certification is sought as outlined in recommendation 6 below, further amendments may be required for consistency with [Pennsylvania Historical and Museum Commission \(PHMC\)](#) standards.
- B. Following the comprehensive update in 2022, the contents of the historic resources map should be regularly reviewed and amended as necessary to ensure resources are added and/or removed as deemed appropriate.

*“Continue to support preservation of historic properties...Let’s not lose, through lack of recognition, existing structures that have become representative of our historic heritage in the last century.” - Survey Respondent*



*Adaptation and reuse of historic properties such as the former Malvern Federal Bank building (now a Chase Bank) provide for a glimpse into the tapestry of history in the Township for residents and visitors alike.*



## **6 Consider applying for Certified Local Government (CLG) status for the Township.**

**WHY:** The CLG program is a partnership between municipal governments, the Pennsylvania State Historic Preservation Office (SHPO), and the National Park Service (NPS) that promotes and supports effective historic preservation programs and policies. The designation provides exclusive funding incentives, training and enhanced technical assistance from the PHMC and the SHPO. This funding could be leveraged to advance historic preservation goals through ordinance updates, cultural resource surveys, revitalization studies, and other public education programs.

**HOW:** At the direction of the Board of Supervisors, Township staff could engage the SHPO to initiate the process of becoming a CLG. The SHPO can assist the Township in identifying potential deficiencies prior to the formal application being submitted for CLG. Once an application has been made, it can take 3-4 months for the NPS to approve the CLG application.

## 2.4 References and Resources

- PADEP Stormwater Management - <https://www.pa.gov/agencies/dep/programs-and-services/water/clean-water/stormwater-management.html>
- Chester County Water Resources Authority, Flooding and Stormwater Reduction - <https://www.chesco.org/4883/Flooding-and-Stormwater-Reduction>
- StormwaterPA - <https://www.stormwaterpa.org/>
- CCPC Environment - <https://chescoplanning.org/Environmental/Environmental.cfm>
- Chester County Climate Action Plan - <https://www.chescoplanning.org/Environmental/pdf/ClimateActionPlan.pdf>
- Brandywine Flood Study - <https://www.brandywine.org/conservancy/brandywine-flood-study>
- The Pennsylvania Historical & Museum Commission (PHMC) - <https://www.pa.gov/agencies/phmc.html>
- Certified Local Government Program - <https://www.pa.gov/agencies/phmc/historic-preservation/clg-program.html>
- CCPC Historic Preservation - <https://chescoplanning.org/Historic/Historic.cfm>
- Chester County Historic Preservation Network - <http://www.cchpn.org/index.php>
- Chester County History Center - <https://mycchc.org/>
- Advisory Council on Historic Preservation – <https://www.achp.gov/>





»»»»» **3.0** Trusted, Reliable,  
and Efficient. Township  
services and facilities



## 3.1 Introduction

Township services and facilities encompass the wide range of duties and amenities provided by the Township's elected officials, volunteers, and staff (a full inventory of community facilities and services can be found in Appendix A-4). These resources, combined with a strong tax base, are important factors in effective governance. Efficient administration of Township services and facilities, as well as support of and coordination with outside entities such as the fire company and school district, is critical to ensuring an overall high quality of life for the Township.

## 3.2 Goal and Objectives

Provide services and facilities supporting effective and efficient governance, and sufficient support of third-party providers to meet the needs of Township residents and businesses.

- A. Utilize the most effective methods of communication to ensure residents and businesses are informed of Township business.
- B. Ensure the annual budget is fiscally responsible and responsive to evolving needs regarding provision of services and facilities.
- C. Support Township committees and commissions and their missions to advance Township policy.
- D. Provide recreational opportunities throughout the Township.
- E. Support emergency services, first responders, and code enforcement, to protect the health and safety of Township residents.
- F. Support public works and investments in Township infrastructure.
- G. Support educational institutions and their provision of facilities serving the Township.
- H. Incorporate a technology vision and initiatives that align with the Townships broader goals.

### 3.3 Recommendations

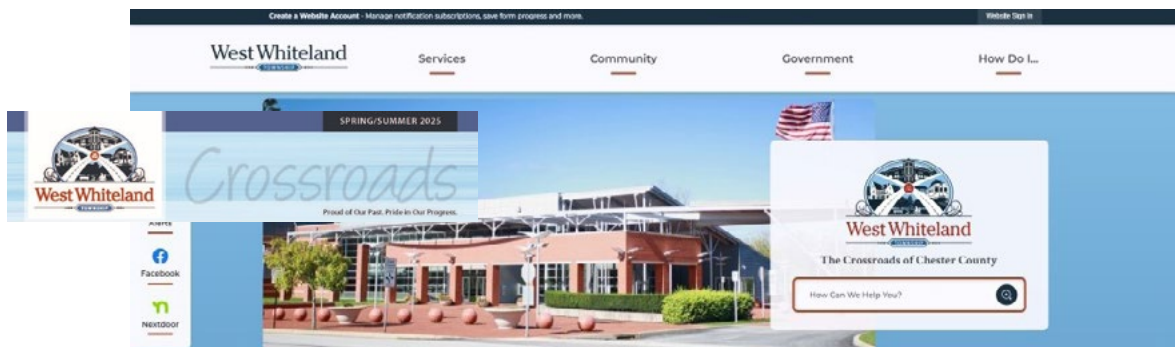


#### 1 Maintain effective and efficient communications with residents and businesses regarding Township business, safety concerns, and other topics that impact community members.

**WHY:** The community needs to remain informed regarding Township business. This requires an on-going commitment to reaching the public in a variety of ways. Consistently reevaluate and adapt methods of communication for effectiveness.

**HOW:** The Township has a Public Information Officer (PIO) who evaluates communication methods to effectively reach all citizens. Their primary actions include promoting public meetings and understanding the community's information needs, with adjustments made as necessary. Specific actions may include but is not limited to:

- A. Periodically assess the Township's communication methods to determine their effectiveness in reaching residents and businesses. The evaluation should explore and implement new technologies, such as social media and mobile apps, to enhance reach and engagement.
- B. Regularly evaluate the website to ensure it provides sufficient breadth of information, appropriate communication of initiatives, and potential for further community interaction, within a user-friendly format.
- C. Continue to produce the print newsletter on a bi-annual basis for all Township residents and businesses. Maintaining the print newsletter is valuable for those residents unable to easily access digital information from the Township.
- D. Provide a "welcome packet" of materials distributed to new residents that provides accurate and up-to-date general information about the Township and contact information for services provided.



*The Township strives to provide information on a wide array of issues facing the community and policy being implemented in the Township. Methods such as the newsletter Crossroads and through the Township website allow for residents and business owners to stay informed about what is occurring in the community.*

**2 Annually develop and implement a fiscally responsible Township budget that is responsive to evolving needs regarding provision of services and facilities.**

**WHY:** The annual budget serves to identify and provide critical funding for all Township activities. To maximize the provision of Township services and facilities within available revenues, the continued development of a fiscally responsible budget is essential.

**HOW:** Staff and elected officials should continue to develop fiscally responsible budgets that reflect the needs of the Township and implement policy goals of the Board of Supervisors. Routine engagement with Township staff, emergency providers, and citizen volunteers should also help in its overall development. Specific actions can include:

- A. Utilize the Capital Improvements Plan (CIP) to plan and address long-term capital projects. The CIP enables the Township to effectively manage major infrastructure through regular reviews and approvals, while exploring additional funding sources and grants. It could also be made available on the Township website for public access.
- B. Consider periodically providing a public survey for residents to identify priorities as they relate to the budget process. This could be done prior to the commencement of the budget process, with the results guiding the Board of Supervisors to identify budget priorities for the following year.
- C. Explore opportunities for public/private partnerships to address identified issues or to support new initiatives. These partnerships can result in implementation of Township policies in a more fiscally responsible manner with private entities providing monetary or in-kind contributions. These partnerships could be forged specifically during the land development process to advance Township policy and/or needs in a concurrent manner.



*CIP planning is essential in the establishment of a logical and orderly process to both identify need and expend resources for their implementation. Public facilities like those at Exton Park were planned for and implemented through the CIP process.*



### 3 Support effective and efficient governance through appropriate administrative and funding support of volunteer commissions and committees.

**WHY:** West Whiteland has five volunteer staffed commissions and boards tasked with furthering Township policy as defined by the Board of Supervisors. Robust resident participation on volunteer commissions and boards provide invaluable experience and viewpoints to both Township staff and elected officials in the advancement of Township policy.

**HOW:** The Township should utilize existing communication methods to directly engage and educate the public on the importance of direct citizen leadership and engagement with the Township through the commissions and boards. Specific actions can include:

A. The Public Services Commission (PSC) provides recommendations, ideas and feedback on a wide range of issues including public education on stormwater management and sustainability initiatives. If at such time the PSC is tasked with more responsibilities as they relate to sustainability and the environment, consideration could be given to the establishment of an Environmental Advisory Council (EAC).

Appointed by the Board of Supervisors, an EAC could empower community action through Township-led education and provide feedback to the Board of Supervisors and other commissions on matters related to the protection, conservation, management, promotion, and use of natural resources located within the Township. The EAC can further develop Township sustainability goals as well as provide educational outreach on sustainable practices to residents and HOAs.

- B. For established commissions and boards, the Township could consider the following:
1. Ensure all commissions and boards have appropriate staff support to advance their missions. Further consideration can also be given to the potential fiscal needs of these groups as part of the annual budget process.
  2. Consider providing members with opportunities to attend appropriate training classes and/or workshops. These types of training could include:
    - a. For the Planning Commission and Zoning Hearing Board, land use training courses on community planning, zoning, and subdivision are offered through the Pennsylvania Municipal Planning Education Institute (PMPEI). Chester County 2020 offers these PMPEI courses through its Master Planner Program.
    - b. For the Historical Commission, annual trainings are offered through the Chester County Historic Preservation Network and CCPC.



#### 4 Ensure high-quality park and recreation facilities are accessible and adaptable community destinations for residents of all ages and abilities.

**WHY:** Safe and high-quality parks and recreational facilities inspire public health and foster connections among residents, encouraging them to gather, socialize, and exercise. These spaces also champion Township policies such as but not limited to, enhancing stormwater management and nurturing wildlife habitats through dedicated stewardship and maintenance.

The 1997 Open Space, Recreation, and Environmental Resources Plan update anticipated a need for between 124 to 208 acres of parks facilities by 2010 to meet Township needs. At the time of writing, the Township owns and operates 139 total acres of parks, with an additional 696 acres encompassing Exton Park that includes portions owned by Chester County. This equates to approximately ten percent of the Township being dedicated to park space. Although the Township exceeds its overall acreage needs for parks, how these lands and facilities continue to evolve will have a direct impact on overall quality of life.

**HOW:** The Township operates and maintains ten facilities with the support of [West Whiteland Township's Friends of the Parks \(FOTP\)](#), a volunteer group that promotes programming and special events. Opportunities to expand West Whiteland's recreational capacity and accessibility, in addition to greater stewardship of open spaces, should be considered when applicable. The Township could consider an update to the 1997 plan that integrates applicable elements of the Exton Park Master Site Development Plan to create a standalone, concise document to guide the long-term vision of all parks and recreation facilities in the Township. Other specific actions can include:

- A. **Parks facilities.** West Whiteland owns and operates ten parks. As limited opportunities exist for expansion of parks, the Township should focus on reparative efforts on improving overall stewardship of these facilities as well as upgrading facilities as needed to meet the diverse recreational needs of the community. Specific actions can include:
  - 1. Ensure that new recreational amenities and/or equipment incorporate universal design practices to ensure ease of access to people of all ages and abilities. This includes elements such as accessible routes, ramps, wheelchair-accessible equipment, inclusive play areas, quiet spaces, etc.
  - 2. Implement the signage and wayfinding system envisioned by the 2024 Sign Standards Manual for the West Whiteland Township Parks System. Consistent signage enhances branding and promotes accessibility.
  - 3. Establish sustainable landscape planting and practices for park operations. This can include incorporation of more organic and sustainable management methods to reduce the application of weed killers, insecticides, and fungicides as part of regular maintenance. This effort can support greater biodiversity throughout the Township through the reestablishment of naturalized areas and reduce risks to human health.
  - 4. Consider establishment of a formal tree management program for all parks. This type of program should include regular hazard tree assessments (inclusive of damage by invasives and resulting from weather events) and periodic, organized tree plantings. This should further include identification of appropriate locations and planting of shade trees to make recreational facilities more attractive and user friendly.



*Mill Valley Park is a passive, neighborhood park in the Mill Valley subdivision that features seating areas around a small pond.*



*Located in the Town Center, Miller Park offers visitors a wide variety of recreational amenities ranging from sports courts and play areas to more naturalistic and passive areas.*



*Sunset Grove Park is a small neighborhood park that provides the surrounding neighborhood with play areas and an outdoor pavilion to enjoy recreational amenities.*



*Parks programming provides residents and visitors with events and activities that encourage use of recreational facilities.*

5. Address stewardship of passive parks facilities by removing invasive species, replanting native tree species, and adding features which complement the neighborhood scale of these areas. Further consideration can be given to naturalizing more of these areas to enhance biodiversity and provide greater areas for natural stormwater recharge.
  6. For passive parks, consider incorporation of more nature-based recreational amenities such as nature trails, wildlife viewing areas, demonstration gardens, interpretative signage, etc. These types of actions can further advance stewardship efforts by actively engaging residents to utilize these facilities that generally see less use than parks featuring active recreation facilities.
  7. Coordinate with Chester County Department of Parks + Preservation (CCDP+P) regarding access to and promotion of passive open spaces in Exton Park.
  8. Evaluate potential demonstration projects that are ecologically sensitive and resilient to accommodate increased stormwater flows as outlined in Natural and Historic Recommendation 2.3(1)(C).
  9. Work with educational partners on potential public access to their recreational facilities during non-school hours as outlined in Reliable and Efficient Recommendation 3.3(9)(B).
  10. As part of the land development process work to establish publicly accessible, outdoor gathering places as well as provide public access to private recreational amenities that would otherwise be unavailable to the general public (such as trails and tot lots).
- B. Parks programming and outreach.** Programming provides residents opportunities to engage with other members of the community, which in turn can foster greater Township pride and awareness. Specific actions can include:
1. Ensure the FOTP has adequate support from the Township to fulfill their mission in providing community events, promotion of parks facilities, supporting volunteers, and undertaking fundraising efforts.
  2. Identify and work with community health partners, such as the Chester County Health Department and Main Line Health, to advance improved public health and wellness and connect with outdoor recreation programming. Through this type of partnership, the Township and FOTP could create health-focused events at Township parks that promote recreational activities and use of these facilities as a low-cost means to improve overall public health.
  3. Evaluate potential partnerships with other municipalities in the provision of parks programming. Through partnerships, the Township could increase high-quality programming opportunities available to residents at lower overall costs. These types of partnerships could include:
    - a. Investigate participation with the [Downingtown Area Recreation Consortium \(DARC\)](#). DARC is funded by municipalities in the Downingtown Area School District and provides a significant amount of active, inclusive, modern recreational programming. As the Township immediately borders its service area, participation with DARC could significantly increase programming available to residents.

- b. Work with the [West Chester Area Council of Governments \(WCACOG\)](#) to create a consortium similar to DARC for the municipalities within the West Chester Area School District. As the Township has long-standing relationships with these municipalities, this type of consortium could be most effective in providing additional programming opportunities tailored to meet the needs of the broader community.

**C. Trails and bike/pedestrian network.** A comprehensive and interconnected bike/pedestrian network is both a recreational amenity and facilitates safe, easy access to recreational amenities to provide a healthy living option for residents and visitors to the Township. (See Appendix F, Multi-Modal Facilities map). Specific actions can include:

1. Continue efforts to develop a robust pedestrian and bicycle network as outlined in Safe, Healthy, and Walkable Recommendation 1.3(4).
2. Advocate for formal bus stops in the vicinity of CVT along Lincoln Highway. Stops in places such as the CVT crossing at the 400 block and at the multi-use path at Ship Road provides residents without a private vehicle, safe access to both the CVT and Exton Park.
3. Continue development of the internal trail network at Exton Park. With its large acreage and rolling topography, trails at Exton Park are ideal for providing users of all ages and abilities a safe and accessible location for their use. Further coordination should also be had with CCD-P+P for connections to trails on the County-owned portions of the park.

**D. Township policy and regulations.** The Township is able to maintain and expand parks facilities through both policy and regulations. Specific actions related to policy and regulations can include:

1. Regularly review and amend as necessary [Chapter 224](#) of the Township code for Parks and Recreation Areas to ensure the rules governing their use address the continued evolution of their use by residents and visitors alike.
2. Continue efforts to implement the [Exton Park Master Site Development Plan](#). As the largest park in the Township, Exton Park will continue to grow and evolve as the community's preeminent recreational facility. Future expansions of the trail network, recreational equipment, facilities, and programming will further enhance recreational amenities that fit the needs and expectations for visitors of all ages and abilities.
3. Ensure targeted SLDO provisions ([§281-47](#)) advance parks and recreation needs and facilities when appropriate. Specific areas for consideration can include:
  - a. Consider requiring developments over a certain unit count or square footage to provide areas for active recreation, not just open space. Active recreation facilities can include, but are not limited to: athletic fields/courts, playground equipment, exercise stations, trail/pedestrian connections, etc.
  - b. Add language to require any recreational equipment and/or amenities incorporate universal design practices.



## 5 Support emergency and first responders to protect the health and safety of Township residents.

**WHY:** The Township has a responsibility to ensure police, fire, and EMS services are accessible, effective, and efficient (See Appendix F, Community Facilities map). Provisions of such services are a necessary component of protecting the well-being of residents, and although not all are under the direct control of the Township, their missions are a municipal responsibility. As costs for these services continue to increase, greater Township funding may be necessary to maintain appropriate levels of service.

**HOW:** Through the Township budget and staff activity, the Township: coordinates with providers on a routine basis, provides leadership in the discussions of funding and direct financial support, and engages with the service providers and the community regarding other means to support these services. Specific actions can include:

- A. Continue to coordinate internally with the West Whiteland Township Police Department (WWPD) to ensure quick and efficient police services to Township residents and businesses continue uninterrupted. Specifically, consideration should be given to:
  1. Continue coordination with the Chief of Police on future capital needs to plan for future staffing and routine expenditures to update and/or replace necessary equipment and vehicles.
  2. Monitor the need to potentially direct greater WWPD resources to patrolling of parks and multi-use trails. As places like Exton Park and the CVT continue to attract more visitors, a more visible presence may be necessary to ensure public safety.
  3. Coordinate with the WWPD as part of the process when new roads and/or road improvements are proposed. As the Department responds to a wide variety of road incidents, if deficiencies in road design can be identified by the WWPD and addressed as part of their construction and/or maintenance, it can result in potential reduction in road-related incidents.
- B. Coordinate directly with the West Whiteland Fire Company (WWFC) and the Good Fellowship Ambulance Club (GFAC) to ensure quick and efficient services to Township residents and businesses continue uninterrupted. Specifically, consideration should be given to:
  1. The Township should collaborate with neighboring municipalities to establish funding benchmarks for volunteer fire companies and ambulance providers. Currently, the Township supports WWFC and GFAC through annual appropriations at their request. By working together, municipalities can set and regularly review appropriate funding levels to ensure these providers receive adequate support.

2. Promote the value of volunteer emergency responders through the Township's website, social media, and newsletters. Highlight local volunteers from the WWFC and GFAC to raise awareness and encourage more community involvement. This can enhance volunteer numbers and improve fundraising efforts.
- C. Engage the WWTPD and other emergency providers as part of the development process. As new development results in greater requests from emergency responders, their feedback can result in improvements to development that enhance their services. Specific areas of consideration can include: incorporation of bi-directional amplifiers in developments over a defined square footage, appropriate placement of hydrants, locations of Knox boxes, incorporation of CPTED elements, etc.
  - D. Consider zoning amendments to reduce nonconformities as they relate to facilities utilized by emergency and first responders. At the time of writing, the WWFC facility is a legally non-conforming use in the R-4 district, and this status can create difficulties when seeking to undertake site improvements and/or expansion. Creation of an appropriate use definition with appropriate supplemental use standards, can best serve both these providers and surrounding neighborhoods.
  - E. Consider amendments to the subdivision and land development ordinance to incorporate [Crime Prevention Through Environmental Design \(CPTED\)](#) or other appropriate standards to enhance overall safety of the built environment. CPTED standards focus on enhancing visibility, controlling access, and clearly defining space to create safer built environments. CPTED standards include, but are not limited to, ensuring adequate lighting in parking areas and building entrances, promoting clear sightlines across public spaces, and clear identification of public and private spaces.



*"Police fire and EMS are top notch. Keep them that way!" - Survey Respondent*



## **6 Support public works to facilitate timely and responsive services for Township residents and businesses.**

**WHY:** Public works staff are tasked with the responsibility of the long-term and on-going maintenance of Township facilities and infrastructure such as parks, public streets, rights-of-ways, stormwater facilities, and public sewers. Code enforcement is tasked with the responsibility of the enforcement of the Township code and zoning ordinance. Ensuring these functions continue to have adequate resources is essential in their ability to fulfill their responsibilities to residents and businesses alike.

**HOW:** The Township should continue to monitor the levels of and calls for service as it relates to public works and code enforcement. This monitoring can help inform annual budget requests to allocate resources to best address public need. Specific actions can include:

- A. The Township inaugurated a new, state-of-the-art public works facility in February 2025 as part of their commitment in the provision and upkeep of Township infrastructure and support of public works. Moving forward for public works, the Township should:
  - 1. Monitor overall public works requests and adjust funding allocations as needed. With increasing unfunded mandates related to stormwater infrastructure, in addition to routine tasks of road and park maintenance, enhanced funding may become essential in continuing the provision of exemplary public facilities and infrastructure. (See Natural and Historic Recommendation 2.3(1) for specifics on stormwater management)
  - 2. Consider the establishment of a formal “Green Policy” to best incorporate more green infrastructure and practices as part of Township services and facilities. Things to consider as part of a “Green Policy” can include: incorporation of hybrid/EVs as part of the Township fleet, installation of EV charging infrastructure at Township facilities and parks, incorporation of solar infrastructure where practicable, conversion of lawn to pollinator gardens and/or managed meadows where appropriate, etc.



*Located off Valley Creek Boulevard, the Township public works facility provides for a modern space for staff to most effectively monitor and maintain Township infrastructure.*



## **7 Ensure Township sewage and water facilities receive adequate funding and evolve as technology warrants.**

**WHY:** As methods of providing water service and sewage conveyance and treatment evolve, the Township should continue to ensure these facilities efficiently function and become more sustainable.

**HOW:** In addition to coordinating infrastructure upgrades with the various utility providers to minimize impacts to both system users and other Township infrastructure such as public streets, specific actions can include:

- A. As they relate to sewage facilities, specific actions the Township can take include:
  - 1. Work with DARA and the West Goshen Sewer Authority to ensure both capacity and treatment needs are accommodated and that these facilities continue to evolve to reflect advancement in treatment methods.
  - 2. Continue regular maintenance and monitoring of the Township's conveyance system and pump stations to ensure long-term functionality and viability of the overall network. Identify and plan for future capital needs through a capital improvements/implementation plan.
  - 3. Regularly complete infrastructure and rate studies to ensure proper rates are charged for sewage disposal. These studies can further identify and prioritize upgrades and/or replacement of Township-owned sanitary sewer infrastructure as part of the Township capital improvements plan.
  - 4. Update and revise as necessary the Township Act 537 plan. This plan works to address existing sewage disposal needs and prevent future issues through the proper planning, permitting, and design of all types of sewage facilities.
- B. For water facilities the Township should continue coordination with Aqua Pennsylvania to ensure the service network can adequately serve current and anticipated future usage. The Township can also provide information from the Chester County Department of Health regarding the monitoring of, maintenance, and contamination reporting for properties that utilize private wells for water service.



## **8 Provide for and evaluate trash and recycling services for Township residents.**

**WHY:** The Second Class Township Code allows the municipality to manage solid waste collection and disposition. The Township utilizes a "pay-as-you-throw" (PAYT) system for which fees are based on how much is being disposed. Providing reasonable and affordable trash and recycling services is an important component in overall quality of life.

**HOW:** At the time of writing the Township utilized a private contractor for trash and recycling services. However, in 2025, the Township requested bid proposals from other haulers and is also considering handling trash and recycling collection in-house. Regardless of the method the Township moves forward with for trash and recycling services, the following actions could be considered:

- A. Provide educational materials for residents regarding proper disposal of yard debris. This could also include information on the Township website on how to properly compost yard waste in a residential area.
- B. Consider establishing a defined municipal compost site where residents deposit yard waste offering the opportunity to sustainably dispose of yard waste and produce compost that can be provided to Township residents at little or no cost. This initiative could be undertaken by the West Chester Area Council of Governments, cooperatively sharing facility operation costs. Municipal compost site models can be found in [Tredyffrin](#) and [West Bradford Townships](#).
- C. Promote e-waste/hazardous material collection events to afford residents opportunities to dispose of waste that is not collected as part of regular services.



**9 Continue to support educational institutions and their provision of high-quality school facilities and programming to serve community members.**

**WHY:** The high-quality educational institutions that serve the Township are an essential piece of the overall quality of life experienced by the residents. The Township is served by the West Chester Area School District (WCASD) and others, including the publicly funded Collegium Charter School and private institutions like the Church Farm School. Continued growth in the community will impact educational facilities and operations in the Township.

**HOW:** Although services, facilities, and programming provided by these institutions are not undertaken by the Township, an open dialogue to understand and plan for their future needs impacting the community is critical. Specific actions can include:

- A. Coordinate on a routine basis with the WCASD as it relates to facilities planning, code enforcement, and police protection. This can also include engagement during the subdivision and land development process of significant residential developments as their construction directly impacts school enrollments, facilities, and redistricting.
- B. Support partnerships with the WCASD and other educational providers to potentially allow for the use of school-owned recreational facilities during non-school hours add in for between hours and Township residents. The ability to utilize these facilities at appropriate times greatly expands recreational opportunities for residents.
- C. Explore zoning amendments aimed at reducing nonconformities associated with educational facilities. Many of these institutions currently operate as legally non-conforming uses, which can pose challenges when attempting to make site improvements or expand. By designating educational use as an allowable use, along with suitable supplemental use standards, we can create a positive outcome that supports both educational institutions and the communities they serve.



*Exton Elementary School is operated by the WCASD near the Town Center.*

### 3.4 References and Resources

- A. Center for Land Use Education, Capital Improvement Plan  
[https://www3.uwsp.edu/cnr-ap/clue/Documents/PlanImplementation/Capital\\_Improvement\\_Plan.pdf](https://www3.uwsp.edu/cnr-ap/clue/Documents/PlanImplementation/Capital_Improvement_Plan.pdf)
- B. National Volunteer Fire Council, Cost Savings Calculator  
<https://www.nvfc.org/cost-saving-calculators/>
- C. Chester County municipal grant opportunities for open space and environmental projects -  
<https://www.chescoplanning.org/MuniCorner/GrantOpportunities.cfm#OpenSpace>
- D. PA Department of Conservation & Natural Resources, Community Parks and Recreation Grants  
<https://www.dcnr.pa.gov/Communities/Grants/CommunityParks%20andRecreationGrants/Pages/default.aspx>
- E. PECO Green Region Open Space Program  
<https://www.natlands.org/resources/for-municipal-partners/peco-green-region/>
- F. International Crime Prevention Through Environmental Design (CPTED) Association  
<https://www.cpted.net/>
- G. Chester County Department of Parks + Preservation  
<https://www.chesco.org/4498/Parks-Preservation>
- H. Downingtown Area Recreation Consortium (DARC)  
<https://downingtowntpa.myrec.com/info/default.aspx>
- I. Chester County Historic Preservation Network  
<http://www.cchpn.org/>
- J. Pennsylvania Municipal Planning Education Institute (PMPEI)  
<https://pmpei.org/>
- K. Chester County 2020  
<https://cc2020.org/>



# 4.0 The crossroads: economic development and resilience



## 4.1 Introduction

Centered at The Crossroads of Route 100 and Lincoln Highway, directly north of Route 30, West Whiteland is a significant commercial and business hub of Central Chester County. Economic changes resulting from the COVID-19 pandemic, the impact of e-commerce, and changing market preferences have affected the commercial uses at The Crossroads. Some of these changes have included: shifts in retail preferences, changes in how office properties are utilized, incorporation of new residential development, and shifts in travel patterns. Innovative, strategic redevelopment can help ensure The Crossroads and adjacent commercial areas remain an attractive and dynamic location for businesses and residents to thrive.

## 4.2 Goal and Objectives

Encourage sustained economic growth redevelopment of The Crossroads to integrate character defining features and incorporate a mixture of uses to sustain a diverse economic base.

- A. Establish a defined sense of place for The Crossroads as that of a mixed-use, multi-modal town center.
- B. Encourage the redevelopment, retention, and expansion of businesses and employment opportunities at The Crossroads.
- C. Ensure new development and/or redevelopment of The Crossroads respects and minimizes impacts to existing neighborhoods.
- D. Refine the pedestrian network to facilitate safe travel and multi-modal connections throughout The Crossroads and adjoining neighborhoods.
- E. Ensure new development and redevelopment of The Crossroads incorporates best practices to promote the use of green technology and environmental sustainability.

### 4.3 Recommendations



#### 1 Continue efforts to transform The Crossroads into a vibrant, mixed-use town center serving both residents and visitors alike.

**WHY:** Home to seven shopping centers and numerous other commercial facilities, The Crossroads serves as the commercial core of the Township and region. However, as consumer preferences change it is critical for The Crossroads to evolve as a vibrant destination to live, work, and play. Strategic infill and redevelopment of The Crossroads can keep the area economically viable while providing desired amenities and needed services for residents and visitors alike.

**HOW:** In 2020 ULI Philadelphia facilitated a Technical Assistance Panel (TAP) to identify strategies for managing growth and creating a sense of community at The Crossroads. The final TAP report noted four distinct quadrants with unique uses and characteristics and identified numerous strategies to implement a vision of The Crossroads. To further advance implementation of the TAP report, consideration could be given to the following:

- A. Establish a distinct streetscape to clearly define The Crossroads. Appropriate streetscaping elements can enhance both pedestrian and vehicular safety through the creation of a sense of order, consistency, and unity of place. Specific considerations can include:
  1. Amend the [Exton Town Center Design Standards](#) to incorporate additional standards to best advance a defined and consistent streetscape throughout the four quadrants of The Crossroads. Specific elements to consider can include:
    - a. Under [§281-69](#) for pedestrian circulation, create standards for and required vegetation/structures for buffer strips located between sidewalks parallel to a public street and parking areas. This can enhance pedestrian safety and improve the overall user experience.
    - b. Identify specific examples of site furnishings and equipment provided for under [§281-68](#). Having specific fixtures identified creates continuity and a defined sense of place that can be interrupted with dissimilar fixtures.
    - c. Establish clear wayfinding signage standards. A unified and consistent design for wayfinding signage advances a defined sense of place and provides visitors and residents alike improved navigation, enhanced user experience, and increased safety.
  2. Establish gateways that define and welcome visitors and help distinguish The Crossroads as a vibrant town center. Gateways should be established along both Lincoln Highway and Route 100 and should all have a similar theme and identity. Although developed for parks, the 2024 Signage Standards & Graphics Manual could serve as a starting point for the design of any proposed gateway signage.
- B. Create linkages and opportunities to access natural areas and open spaces from The Crossroads. These opportunities can greatly enhance overall quality of life for the growing residential community and visitors alike. Specific considerations can include:
  1. Any redevelopment should incorporate enhanced pedestrian linkages to parks and recreational facilities. Specific examples include:
    - a. Redevelopment of Whiteland Towne Center and/or properties between Miller Way and Route 100 should incorporate enhanced pedestrian linkages to Miller Park.

- b. Redevelopment of Exton Square Mall should incorporate connections to the Chester Valley Trail and Chester County Library as identified as part of Safe, Healthy, & Walkable Recommendation 1.3(4)(D)(4). These connections will further provide a pedestrian connection to Exton Park.
- 2. Any redevelopment of properties along Valley Creek, and/or any of its tributaries, should incorporate the watercourse as an integral part of the project when practicable. The creek could be activated as a site amenity with the potential for a nature trail(s) that parallels it as well as opportunities for riparian buffer and stream restoration that can advance stormwater management goals. The Township could create defined bonus provisions to provide a greater incentive for developers to incorporate the creek as a site amenity.
- 3. Work with property owners throughout The Crossroads to establish publicly accessible trails either as part of any redevelopment and/or through existing open space areas. Priority should be given to creation of direct connections to the CVT in coordination with Chester County Parks + Preservation. Provision of more multi-modal facilities through infrastructure such as trails can facilitate greater pedestrian and cyclist access to The Crossroads as a more viable alternative to using a private vehicle.
- C. Continue efforts to implement the recommendations of the Bicycle and Pedestrian Plan to improve bicycle and pedestrian mobility at The Crossroads. Ensure the pedestrian network promotes overall user safety and improves non-vehicular access to and throughout any redeveloped site. Specific focus should be on the areas along Route 100, Lincoln Highway, and the CVT as identified as part of Safe, Healthy, & Walkable Recommendation 1.3(2).
- D. Ensure any redevelopment incorporates an overall site design that minimizes traffic impacts on adjoining public roads. Any internal road network should be designed to provide connections between Route 100, Lincoln Highway, and Swedesford Road to minimize impacts on the Route 100/Lincoln Highway intersection when practicable.
- E. Analyze and update as needed uses permitted in the Town Center (TC) District. As trends in land use continue to evolve, it is critical to ensure appropriate commercial uses are accounted for in the TC District. If new uses are considered or existing uses transitioned from conditional uses to by-right, appropriate supplemental use standards may be necessary to ensure that the character of The Crossroads remains consistent.
- F. As it was accepted in 2020, the Township could also reexamine the TAP report to determine if its assumptions and/or recommendations should be amended to reflect the current needs of the broader Town Center.

*“Much thought needs to be given to the Exton Mall project as that is going to most significantly define the next 10-20 years of WWT” - Survey Respondent*

*Where Lincoln Highway intersects Pottstown Pike forms the center of The Crossroads. In this rendering gateway signage is proposed at both the northeast and northwest corners of the intersection to create a more distinct gateway to The Crossroads.*





## 2 Create or enhance green and functional public spaces in commercial areas.

**WHY:** Public green spaces can enrich and bring vibrancy to the surrounding community while creating a unique attraction and supporting economic development efforts. Integrating functional public spaces and green areas into commercial areas provides opportunities for public art, events, pop-up uses, and informal gatherings, as well as provide natural areas for stormwater management and infiltration.

**HOW:** As most of the Township's commercial areas are relatively built-out, incorporation of these spaces should be included as part of any redevelopment effort of larger commercial facilities such as Whiteland Towne Center and Fairfield Place. Considerations for any green and/or functional public spaces could include:

- A. Consider amendments to [§281-47](#) of the Subdivision and Land Development Ordinance to define and establish standards for public space. Specific elements to consider for public spaces could include:
  1. Define thresholds for when public spaces are required and how their provision may impact other applicable open space and recreation requirements.
  2. When practicable, require all public spaces be fully connected and integrated into the internal pedestrian network as well as public sidewalks and trails when practicable.
  3. When practicable, require any amenities provided as part of a public space incorporate universal design principals.
  4. Require shade trees and other appropriate landscaping elements to provide relief from the elements as well as to help clearly define these spaces.
- B. Consider amendments to [§325-39](#) of the Zoning Ordinance to ensure right-sized and adequate facilities for off-street parking throughout The Crossroads. Through the refinement of parking standards, potentially more opportunities for green and open spaces can be implemented throughout the site that would otherwise be used for parking and its associated infrastructure. Specific elements to consider could include:
  1. Consider provisions to facilitate use of underutilized parking areas to allow outdoor spaces for businesses (such as outdoor dining facilities or retail areas) or redevelop these spaces into a greener public space.
  2. Consider revisions to [§325-39\(G\)](#) and [§325-39\(H\)\(6\)](#) for minimum off-street parking requirements to ensure they reflect contemporary use and reduce overparking. As parking requirements are a dynamic issue, a variety of approaches may be needed to adequately address its provision. Ways to accomplish his can include:
    - a. Eliminate defined parking minimums and require a parking study for all new development to demonstrate parking need. Any proposed parking study should utilize accepted standards, such as those published in the Institute of Transportation Engineer's Parking Generation Reports and be based on accepted methodologies, such as the Urban Land Institute Shared Parking Study.
    - b. Establishment of parking maximums instead of minimums. Setting a maximum discourages overparking and reduces overall impervious coverages.

- C. Consider revising the [Bonus Menu](#) provisions to add a zoning bonus for on-site trails and public space that are privately owned and maintained, but made available to the general public.
- D. Consider requiring a plan note that allows for Township sponsored events such as community outreach, youth education, and public health/safety events upon formal approval of the property owner on any proposed public space.



*Public spaces, like this one at Main Street at Exton, provide opportunities for pedestrians to gather, more green space, and create a more vibrant, mixed-use neighborhood.*



*Public art adds a placemaking element that enhances the shopping center as a retail destination. Local artists could be encouraged to participate in any public art program to further create a uniquely West Whiteland experience.*

*A pedestrian scale, public gathering space is proposed for a central green area of the site. Activation of an area that was exclusively pavement brings greater vibrancy to the shopping center and allows for patrons to spend additional time on-site.*



*This re-imagining of the Whiteland Towne Center envisions a significant greening of the parking area as well as incorporation of pedestrian-scale elements and gathering spaces.*





*Plaza at the entrance areas to the various tenants enhance the pedestrian experience as well as provide opportunities for activities such as outdoor dining and sales that can positively impact business sales.*

*A curvilinear boulevard is proposed with a landscaped median. This design both creates a more defined sense of place as well as provides for a degree of traffic calming for vehicular traffic.*

*A shared use path is proposed to parallel the access road to provide pedestrian and bicycle access to both the shopping center as well as to provide a safe by-pass of the Lincoln Highway/Pottstown Pike intersection.*

*Completion of a sidewalk along its Lincoln Highway frontage allow for pedestrians to safely access the shopping center from the growing residential communities in The Crossroads.*



### 3 Ensure industrial/office uses continue to thrive with evolving preferences and needs.

**WHY:** The Township is home to a wide range of commercial and industrial uses outside of The Crossroads that foster opportunities for local employment, business development, and expansion. Historically these areas were utilized predominately for office and light industrial uses; however, over time they have evolved to include a wider variety of uses. Further, contemporary industrial uses such as maker spaces and HVAC fabrication can be seamlessly permitted in non-industrial districts given their minimal impacts. The Township should continue to support commercial and industrial uses as the surrounding communities continue to evolve with incorporation of other uses.

**HOW:** At the direction of the Board of Supervisors, coordination could occur between industrial/office parks such as Whiteland Business Park and Oaklands Corporate Center and other commercial/industrial property owners with Township staff and the Planning Commission to develop strategies to ensure commercial and light industrial uses continue to thrive. Specific actions can include:

- A. The Office/Residential (O/R) District along Lincoln Highway was created to allow for more mixed-use style (re)development along the corridor to address a weakening in demand for office space identified in a 2015 study. Since 2020, the corridor has seen significant residential development in an area where none previously existed. As demand for residential development continues to grow, conflicts between residential and non-residential uses can arise that can be especially detrimental to existing commercial and light industrial uses. Potential amendments could include:
  1. Review of current height, area, and bulk standards to ensure they continue to appropriately regulate the industrial community while also best supporting evolving needs and designs of contemporary facilities. Specific attention could be given to both lot area and coverage requirements to ensure they are consistent with contemporary facilities and to reduce existing nonconformities.
  2. Review the allowable non-residential uses to determine if additional uses should be permitted to reduce potential issues resulting from nonconformities. Specific consideration could be given to permitting of light industrial uses as they exist throughout the district and are not identified under [§325-15.1\(B\)](#).
- B. The I-1 Limited Industrial (I-1) District is intended for light industrial and commercial uses near West Lincoln Highway, Whitford Road, and Phoenixville Pike. Over time, a variety of uses, including educational and institutional ones, have emerged that may conflict with traditional industrial activities. The Township should review the allowed uses in the I-1 District to consider permitting additional ones and reduce potential conflicts between established uses.
- C. The I-2 General Industrial (I-2) District provides areas for heavy industrial uses in the vicinity of Clover Mill Road. Much of the district north of Clover Mill has significant environmental constraints associated with Valley Creek, with the areas to the south having established businesses. As the only area of the Township zoned for significant industrial uses, the Township should ensure non-compatible uses continue to be limited in this district.



*Located off Lincoln Highway in the western portion of the Township, Oaklands Corporate Center has transformed from a traditional office/business park to an area with a variety of uses from educational facilities to residential communities. Potential incompatibilities between these differing uses can negatively impact established industrial and office uses if left unaddressed.*



**4 Support the successful creation of new businesses and retention of existing businesses through partner coordination, information sharing, and other means.**

**WHY:** In addition to the regulatory means, the Township can also support the business community through non-regulatory means. Through the forging of greater partnerships with the business community and its advocates, the Township will develop a greater understanding of their constantly changing needs.

**HOW:** Township staff could directly engage with the business community on a more regular basis to understand contemporary needs and develop strategies to ensure the Township remains an attractive and vibrant commercial center. Specific actions can include:

- A. Continue coordination with business and economic development partners. Organizations such as the Exton Region Chamber of Commerce and the Chester County Economic Development Council work directly with the business community to advocate for its long-term success and vitality. These partners can work with the Township on solutions to ensure West Whiteland remains as a premier destination to continue and/or establish a business.
- B. Consider support for a proposed Business Improvement District (BID) initiated by Township business owners. A BID supports business development and retention through the provision of additional services and business support that is funded through special assessments of business owners in the defined BID. The Neighborhood Improvement District Act of 2000 authorizes the creation of BIDs and outlines the procedure for their establishment.

The Township could facilitate a survey within a defined area of The Crossroads to determine if a BID is something most of the business and/or property owners would support. This effort could be accomplished in conjunction with the Exton Region Chamber of Commerce.

## 4.4 References and Resources

Further information on business development incentives and funding opportunities for business growth can be found through the following:

- Chester County Economic Development Council  
<https://ccedcpa.com/>
- CCPC Commercial Landscapes Serie  
<https://chescoplanning.org/MuniCorner/ComLand/overview.cfm>
- CCPC Multimodal Handbook  
<https://chescoplanning.org/Guides/Multimodal/Introduction.cfm>
- Chester County Economic Development Council  
<https://ccedcpa.com/>
- Exton Region Chamber of Commerce  
<https://extonregionchamber.com/>
- PA Department of Community and Economic Development, Business Assistance Programs  
<https://dced.pa.gov/business-assistance/>
- PA Department of Community and Economic Development, Programs and Funding  
<https://dced.pa.gov/program/>
- PA Department of Labor & Industry, Uniform Construction Code  
<https://www.pa.gov/agencies/dli/programs-services/labor-management-relations/bureau-of-occupational-and-industrial-safety/uniform-construction-code-home.html>



»»»»» **5.0** Livable and vibrant:  
a future land use vision



## 5.1 Introduction

The future land use plan provides the overall framework for guiding general land use, housing, economic development, and related policy decisions for the time horizon of the plan. The Pennsylvania Municipalities Planning Code (MPC) sets forth each municipality's responsibilities regarding housing, and specifically references housing of different types and densities. Housing is closely tied to land use, and the two should be considered together. Economic development also impacts future land use and influences a community's character, and should be guided by a comprehensive land use plan ([See Appendix F, Existing Land Use map](#)).

The historic land development pattern of the Township has been, and continues to be, commercial, industrial, and higher-density residential uses centered at The Crossroads along both Lincoln Highway and Pottstown Pike, with lower density, residential development located further out in each of the four quadrants. As West Whiteland is a relatively built-out municipality with only 413 acres, or just five percent of the Township (See Appendix A, Section A-2-A for a breakdown of existing land use in the Township), identified as undeveloped, most new development is anticipated to occur as redevelopment of existing developed sites and/or as infill projects with appropriate stormwater management controls, that is consistent with the historic development pattern of the Township.

## 5.2 Goal & Objectives

Responsibly guide future land use, while respecting the integrity of established land use patterns, to support thoughtful redevelopment, provide diverse housing options, support the business community, improve environmental sustainability, enhance multi-modal options, and provide recreational opportunities.

- A. Maintain the pattern of residential uses and established neighborhood characteristics outside of the Town Center, while allowing flexibility for homeowners to maintain and/or upgrade their properties.
- B. Ensure the Town Center and adjoining commercial corridors remains as the primary retail and employment center and incorporates a greater mix of uses through on-going redevelopment.
- C. Consider refinements to Township policy and regulations to support commercial and industrial employers in areas away from the Town Center.
- D. Evaluate existing Township policy and regulations and consider refinements as necessary to best reflect the overall land use vision.
- E. Ensure all new development and redevelopment incorporates best practices to improve stormwater management, environmental sustainability, and address climate change.
- F. Ensure infrastructure demands are met for both existing and anticipated future need.
- G. Consider greater options for diverse housing types to meet the needs of the diverse and growing resident base of the Township.
- H. Evaluate existing Township policy and regulations and consider refinements to advance more sustainable and green practices.

## 5.3 Future Land Use Categories

### Low Density Residential (LDR) | Current Zoning: R-1, R-2, R-3



The LDR category is inclusive of predominately residential development at a density of not more than two dwelling units per developable acre (2 du/da). LDR generally consists of single-family detached homes; however, attached or detached accessory dwelling units (ADUs) may be appropriate with suitable standards in place. Attached housing (like twins, duplexes, and carriage homes) may be appropriate in some settings, provided that the density remains at or below 2 du/da.

As these areas are relatively built out, any proposed infill development should generally be consistent with established neighborhood character and preserve existing natural features to the highest degree practicable. Review and potential modifications to targeted area and bulk standards within single-family residential zones could be considered to address consistent requests for variances, while maintaining the character of single-family neighborhoods and protecting from overdevelopment of residential properties.

Non-residential uses should be limited to small-scale home occupations and no-impact home-based businesses that do not detract from the residential character of the neighborhood. Additional investment in amenities and infrastructure such as stormwater management and targeted pedestrian amenities can enhance the area and provide connections to surrounding neighborhoods, recreational facilities, and commercial areas.

### Medium Density Residential (MDR): | Current Zoning: R-2, R-3, O/R, TC



The MDR category is inclusive of predominantly residential development with a density between two and four dwelling units per developable acre (2-4 du/da). Suitable housing types include single-family detached homes, carriage homes, and townhouses; however, accessory dwelling units (ADUs) may be appropriate with suitable standards in place.

Two-family dwellings (also known as twins and duplexes) may be accommodated, provided a density of 4 du/da is not exceeded. Multi-unit dwellings are not necessarily prohibited, but they must be carefully sited to maintain the overall character of the neighborhood and should be conditioned upon the provision of adequate permanent open space. Consideration could also be given to defining, permitting, and creating standards for both tri- and quadplexes as multi-unit dwellings not exceeding 4 du/da.

As MDR areas are relatively built out, any proposed infill or redevelopment should generally be consistent with established neighborhood character. Review and potential modifications to targeted area and bulk standards within single-family residential zones could be considered to address consistent requests for variances, while maintaining the character of single-family neighborhoods and protecting from overdevelopment of residential properties. Non-residential uses should be limited to no-impact home-based businesses that do not detract from the residential character of the neighborhood. As with the LDR, additional investment in amenities and infrastructure such as stormwater management and pedestrian amenities can enhance the area and provide connections to surrounding neighborhoods and commercial areas.

**High Density Residential (HDR): acres | Current Zoning: R-2, R-3, R-4, O/R, TC**



The HDR category is inclusive of predominantly residential development greater than four dwelling units per developable acre (> 4 du/da) in the form of townhouses, large multi-family, and apartment buildings. HDR uses generally incorporate additional residential amenities (clubhouses, recreational facilities, dog parks, etc.) and parking facilities at a scale larger than the LDR and MDR classifications. The HDR designation

does not include properties in the Town Center designation that are of similar use, density, and form.

As HDR areas are relatively built out, any redevelopment and/or site improvements should incorporate enhanced screening and buffering with adjoining properties that are of a lower residential density. Further, as many of these communities were developed prior to implementation of more modern stormwater techniques with larger areas of impervious cover, investment in modern stormwater infrastructure can help advance Township stormwater goals.

**Lincoln Highway Transition (LHT): acres | Current Zoning: O/C, O/R**



The LHT category is intended to encourage smaller-scale commercial, retail, and limited medium-density residential uses that foster the creation of mixed-use centers distinct from and subsidiary to The Crossroads along targeted areas in the vicinity Lincoln Highway. The LHT further serves as a transition from established industrial and business parks to lower density residential and/or environmentally sensitive areas along the corridor.

In the LHT any proposed infill or redevelopment should be at scale and intensity that provides for a gradual transition to the larger-scale and more intensive uses of The Crossroads. Given the physical limitation of many of the properties in this area, careful consideration should be given to the allowable uses in the LHT. Any redevelopment of these areas should include installation of sidewalks and pedestrian amenities to improve safety and multi-modal access along Lincoln Highway as well as to provide connections between surrounding neighborhoods and commercial areas. Appropriate buffering and screening from differing uses, modern stormwater facilities, improved access management, and enhanced green spaces should also be incorporated as part of any redevelopment.

**Neighborhood Commercial (NC): acres | Current Zoning: NC**



The NC category encompasses small, neighborhood-oriented commercial areas where residents can access day-to-day services and retail without going to the larger commercial areas of the Township. Although the NC encompasses a relatively small geography, they should continue to evolve in their provision of neighborhood-oriented commercial opportunities.

In the NC any proposed infill or redevelopment should be at a scale that complements adjacent single-family detached neighborhoods. Significant screening and buffering from parking and refuse facilities, and integration of enhanced pedestrian access when practicable should be incorporated into these areas. Careful consideration should be given to the uses permitted in the NC to retail, services, and office uses that generally have minimal impacts on adjoining residential properties.

**Industrial and Business Park (IBP): acres | Current Zoning: I-1, I-2, O/L, O/R, TC**



The IBP category encompasses business parks that accommodate office and light industrial operations. Most light industrial operations in the Township are housed in completely closed buildings, with minimal outdoor storage, and often have extensive administrative sections such that the overall impact of the operation is similar to an office building.

For areas containing office and light-industrial uses like the Oaklands Corporate Center, Whiteland Business Park, and Valley Creek Corporate Center, the Township should consider a wider range of allowable uses to meet evolving market demands to ensure these areas remain vibrant and desirable areas for businesses to grow and thrive. Additionally, considerations should be given to ensuring that area and bulk standards such as those for height and building/lot coverage are appropriate for contemporary facilities. All areas within the IBP can also benefit from additional investment in modern stormwater infrastructure can help advance Township stormwater goals.

**Heavy Industrial (HI): acres | Current Zoning: I-2**



The HI category encompasses the areas adjacent to Clover Mill Road and the Downingtown Quarry including heavy industrial operations that have significantly greater impact on neighboring properties than those located within the IBP. The HI further supports and provides space for larger warehouses, logistical operations, and data centers that minimize potential for conflict with adjacent, incompatible uses.

Within the HI careful consideration should be given to any proposed rezoning that may result in uses being incompatible with the established industrial operations along the corridor. As industrial operations continue to evolve, it is critical the Township retain these areas for future industrial growth and expansion to retain a well-rounded and diverse employment base. Further consideration should also be given for the impacts truck traffic from HI uses may have not just on Clover Mill Road, but also Whitford Road and beyond.

**Town Center Mixed Use (TCMU): acres | Current Zoning: TC**



The TCMU category is the area surrounding The Crossroads – (intersection of Lincoln Highway & Pottstown Pike) and accommodates the Township’s long standing policy of highest intensity development focused at this location. The intent is to allow a mix of residential, commercial, institutional, recreational, and office uses designed to facilitate multi-modal travel. A mixture of uses on lots and even within buildings is not merely permitted but is encouraged. At the same time,

the naturally constrained lands are to be retained in a naturalistic condition, facilitating climate resilience and providing green corridors through an otherwise densely developed area.

Lower density residential types are not permitted in the TCMU; instead, the highest density multi-family residential uses are permitted in structures that may be as tall as six stories. Residential zoning standards limit building height and lot coverage as well as requiring setbacks from streets and property lines along with improved open areas and public amenities. Non-residential uses will be accommodated at a scale and intensity to facilitate walkability and promote a positive pedestrian experience. Pedestrian and bicycle routes connecting to the Chester Valley Trail will further reduce reliance on motor vehicles. Larger scale industrial and logistics uses are not permitted in the TCMU, but rather in the IBP where more appropriate.

**Open Space and Recreation (OSR): acres | Current Zoning: Various**



Areas designated OSR are not intended to be a designated zoning district, and they include areas of permanently preserved open space (like Township and County-owned parks), major privately owned spaces (like the Whitford Country Club), and permanently preserved green space (Homeowner Associations) within residential developments.

Other examples of private spaces designated as OSR include the diagonal swathe of PECO-owned lands occupied by the large electric transmission lines in the southern part of the Township.

**Campus (C): acres | Current Zoning: O/L**



The C category encompasses the properties of the Church Farm School. This category recognizes unique campus use has special needs associated with it, such as, but not necessarily limited to, academic buildings, dining facilities, athletic facilities, student housing, faculty and event parking, intersections and driveways to accommodate vehicular traffic, pedestrian access, and the integration and compatibility of such uses with contiguous and nearby established uses.

Within the C category consideration should be given to ensure existing zoning regulations do not inhibit the ability of the School to continue to evolve and prosper with the variety of uses of the properties. Additional considerations should also be given to how best to preserve the historic properties of the campus as well as to improve overall safety along the segment of Lincoln Highway that bisects the campus.

**Transportation (T): acres | Current Zoning: Not applicable**



The T category includes roads, railroads, and facilities dedicated to transportation. Transport facilities that are accessory to some other use – such as the Exton Transit Center – do not appear as they are subsidiary to the principal use. This area may also provide for uses such as billboards that need to be adjacent to roads or railroads.

## 5.4 Recommendations



### 1 Consider amendments to zoning ordinance to support adjustments for the Future Land Use plan.

**WHY:** The zoning ordinance is the most impactful tool the Township has to successfully implement the overall future land use vision (see Appendix F, Zoning Map). As evaluated above, although relatively built-out, the Township will continue to evolve and change incrementally over time primarily through redevelopment.

With the proliferation of ecommerce, how retail spaces are utilized is evolving, as many consumers desire more experience-based entertainment rather than solely traditional retail options. Increased numbers of office workers working remote or hybrid schedules have changed the demand for and how office space is utilized. Developing technologies and practices have transformed what are thought of as industrial uses. Additionally, aging populations and younger generations desire alternative housing choices to the typical single-family detached house, resulting in the need for more diverse housing options.

**HOW:** The future land use map provides for a variety of zoning considerations to ensure the on-going desirability and vibrancy of the Township (see Appendix F, Future Land Use Map). Targeted zoning amendments as discussed throughout can best move the Township towards implementation of the overall vision of the future land use map.



### 2 Ensure that all new development and redevelopment projects implement the most impactful and effective measures to mitigate impacts of stormwater runoff.

**WHY:** Significant areas of the built environment in the Township were constructed prior to the advent of modern stormwater management facilities and techniques. Further, with the Township experiencing more frequent major storm events, flooding continues to grow as a significant issue. Addressing stormwater management through the land development process can mitigate the impacts of these more frequent flood events.

**HOW:** The Township should continue to monitor the stormwater management ordinance under [Chapter 270](#) of the Township code to ensure it does not preclude modern BMPs as the technology and techniques continues to evolve. Further consideration could also be given to amending the ordinance to allow for greater flexibility in design of stormwater BMPs to best address localized issues with the approval of the Township Engineer. In conjunction with this on-going effort, the Township should further monitor both their zoning and subdivision and land development ordinances to ensure consistency with Chapter 270. More detailed recommendations specific to stormwater management and facilities can be found in Natural and Historic, Recommendation 2.3(1).

*“Stormwater needs proactive planning to avert disastrous impacts from climate change.” - Survey Respondent*



**3 Continue to work with partners and outside providers to mitigate the impacts of development and redevelopment projects on existing infrastructure.**

**WHY:** Public infrastructure is the essential component of the Township that is the foundation for both high quality of life and for future development and redevelopment. However, all development and redevelopment projects create impacts on existing infrastructure, including, but not limited to streets and roads, stormwater management, water and sewer, electricity and gas, etc. Ensuring infrastructure is adequate to handle both existing and future needs is a long-term municipal priority.

**HOW:** The Township could amend [§281-43](#) of the Subdivision and Land development ordinance to require documentation from electric, natural gas, and internet/broadband providers that adequate services can be provided to proposed (re)development projects over a defined square footage or unit count. More detailed recommendations regarding specific infrastructure provided by the Township, and for water/sewer can be found in the Township Services chapter.



*Greater coordination with utility providers such as PECO will help ensure Township residents and businesses have uninterrupted access to their services.*

*“(We) just want to stay here, but it’s increasingly hard ... when family and friends have had to leave over the years for (more) affordable options.” - Survey Respondent*

#### 4 Continue to support a variety of housing choices throughout the Township.

**WHY:** As preferences continue to evolve, it is essential for the Township to provide for a variety of housing choices to maintain an attractive and vibrant, residential community. Additionally, the Municipalities Planning Code (MPC) requires both the comprehensive plan and zoning ordinance address and permit a variety of housing options.

The Delaware Valley Regional Planning Commission (DVRPC) both creates and updates municipal population estimates for Chester County. The most recent update was released in October 2025 and should be viewed as a projected snapshot from that point in time and may be revised further in subsequent updates.

The DVRPC estimates a population increase of an additional 5,862 residents in the Township, between 2020 and 2050. With this increase, approximately 1,885 new housing units will need to be created based on the average family size in the Township of 3.11 in 2020.

Since 2020, the Township has seen a significant number of residential units either come on-line or receive their initial approvals. At the time of writing, approximately 1,478 units have come on-line, with an additional 386 units being approved, but not yet under construction. As such, the Township is on track to provide adequate residential units through 2050 to meet anticipated demand based on 2025 population estimates. It should be noted this estimate may change based on actual population growth, not estimated growth, that occurs in the Township over the next 25 years.

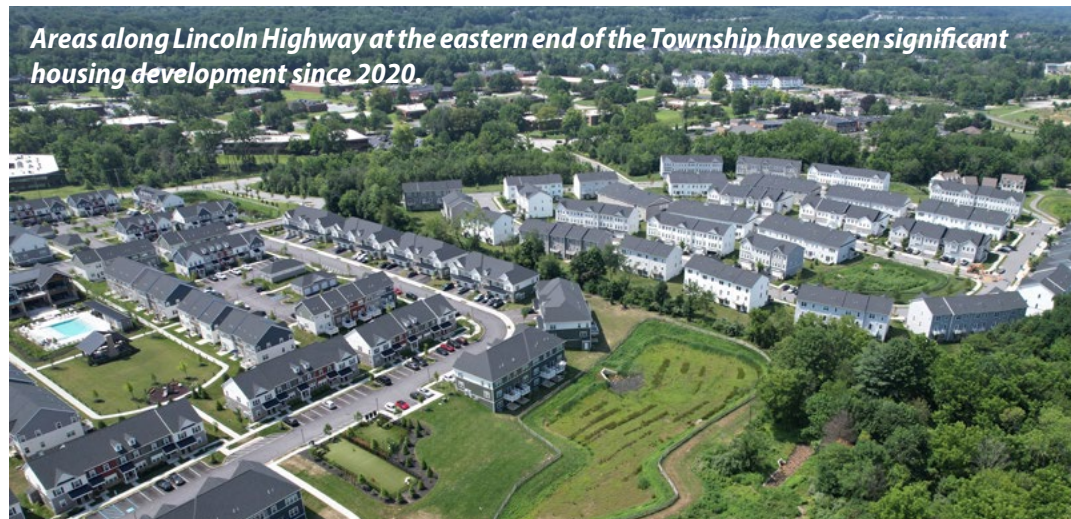
#### Completed since 2020\*

| Development                             | Housing type           | Unit count |
|---|------------------------|------------|
| Summerhill (rental)                     | Townhomes              | 220        |
| Exton Grove                             | Townhomes              | 99         |
| Lochiel Farm                            | Townhomes              | 140        |
| Exton Walk                              | Townhomes              | 68         |
| Exton Walk                              | Single-family detached | 95         |
| The Point at Exton                      | Multi-family           | 342        |
| Ashbridge Main Street at Exton          | Multi-family           | 410        |
| Keva Flats (expansion)                  | Multi-family           | 96         |
| Whiteland Meadows                       | Single-family detached | 8          |
| <b>Approved or under formal review*</b> |                        |            |
| Villas at West Whiteland                | Multi-family           | 32         |
| Valley Creek Active Adult Community     | Single-family detached | 96         |
| Valley Creek Active Adult Community     | Twins                  | 98         |
| Valley Creek Active Adult Community     | Townhomes              | 123        |
| 1375 Old Phoenixville Pike              | Single-family detached | 13         |
| 1358 Glen Echo Road                     | Single-family detached | 5          |
| 1354 Pottstown Pike                     | Single-family detached | 7          |
| 296 Boot Road                           | Single-family detached | 4          |
| Hoadley Tract (Grove Road)              | Single-family detached | 8          |

\* Developments as of July 2025

**HOW:** Although primarily driven by market forces, the Township can influence overall housing diversity through municipal policy. Any effort to amend municipal policy should evaluate the overall need for, engage the broader community, and be crafted to address issues related to housing that are unique to the Township. Specific consideration could be given to the following:

- A. Consider permitting Accessory Dwelling Units (ADUs). An ADU is an independent, secondary housing unit that functions independently from the primary unit. The Township could investigate where ADUs can best be integrated into existing neighborhoods and develop appropriate use standards to mitigate impacts on neighboring properties. CCPC has an [eTool for ADUs](#) that could serve as a starting point to this effort.
- B. Consider permitting smaller-scale “missing middle” housing typologies in lower-density residential districts where appropriate. Typologies such as duplexes, triplexes, and fourplexes can be incorporated into established residential areas with appropriate use and design standards. This can result in additional units where infrastructure is already in place. CCPC has created a [Missing Middle Housing Guide](#) that could serve as a starting point to this effort.
- C. Consider creating a zoning bonus for affordable and/or workforce housing units. At the time of writing, the legality of mandatory inclusionary zoning to require affordable housing as part of new (re)development in the Commonwealth is unclear. However, the Township could consider creation of an optional zoning bonus to encourage creation of affordable and/or workforce units. Bonuses can include, but are not limited to, slight increases in density and lot and bulk (i.e. dwelling units per acre, height, etc.), decreases in parking minimums, and/or reduction in fees. CCPC has an [eTool for Affordable Housing Bonuses](#) that could serve as a starting point to this effort.
- D. Consider creation of standards regulating short-term rentals (STRs) as part of Chapter 250, Rental Inspections. [Chapter 250](#) establishes standards for the rental inspection program, and this could be amended to incorporate standards for regular inspections of STRs. Further consideration could also be given to creating a STR use and standards in the zoning ordinance to define specific areas they are permitted. Reasonable regulation of STRs can help in maintaining neighborhood character by ensuring occupancy consistent with that of an established neighborhood. CCPC has an [eTool for Short Term Rentals](#) that could serve as a starting point to this effort.





**5 Develop strategies to ensure the long-term viability of institutional uses, minimizing their impact on adjoining uses.**

**WHY:** Institutional uses are a critical part of the Township, providing essential services and support to residents, visitors, and businesses. They include facilities serving governmental agencies, emergency service providers, schools, houses of worship, and long-term and continuing-care facilities and faith-based residential arrangements. These uses are located all throughout the Township, with many being in areas immediately adjacent to residential uses.

**HOW:** Institutional uses are subject to the [Institutional District \(ID\)](#) overlay when located within one of the established commercial or industrial zoning districts. This overlay does not apply to institutional uses located within residential districts such as Mary C. Howse Elementary School or Grove United Methodist Church. Consideration could be given to amending the ID to also include residential districts and further develop reasonable supplemental standards for these uses to best address negative impacts on neighboring residential properties.



*Facilities such as walking trails, landscaping, and stormwater facilities in Exton Walk are the responsibility of HOAs to maintain upon their formal dedication.*



## **6 Develop strategies to better inform residents of homeowners associations (HOAs), their responsibilities, and when the Township may intervene to facilitate resolutions.**

**WHY:** The Uniform Planned Community Act of 1997 establishes the rules and obligations for HOAs in the Commonwealth. HOAs are responsible for the enforcement of their recorded rules and regulations as well as managing the finances necessary to maintain facilities and infrastructure under their purview. The Township has no responsibility in the enforcement of HOA regulations and/or maintenance and repair of common areas under the purview of a HOA. However, the Township is involved in the initial creation of the HOA documents and final inspections of infrastructure prior to the release of any escrow as part of the overall land development process.

**HOW:** Work with developers to ensure HOA documents recorded as part of an approved subdivision or land development application best reflect Township policy. Specifically, restrictions in HOA covenants on things such as accessory dwelling units and home-based businesses could be crafted to be more consistent with what the Township permits. The Township could also engage with a HOA as part of their financial inspections and monetary release of escrows and sureties when the facilities are being dedicated specifically to the HOA and not the Township.



## **7 Encourage sustainable practices and opportunities for residents, businesses, and Township operations.**

**WHY:** Encouragement of more sustainable practices and implementation of green infrastructure can help to mitigate impacts associated with climate change and rising energy costs. These practices provide benefits in terms of reduced demand for polluting and nonrenewable resources, while providing potential economic advantages for users and the community. Further, as energy costs continue to rise, and the existing electrical grid becomes more stressed with increased need from emerging industries, more sustainable practices can help to reduce overall energy costs.

**HOW:** The Township can encourage sustainable practices and opportunities through its existing regulatory structure, and with its own decisions and actions. Through both the zoning and subdivision and land development ordinances, the Township can play a role in reducing overall energy usage and increasing opportunities for green infrastructure. Specific actions can include:

- A. Continue to implement the Energy Transition Study (ETS) in an effort to meet energy transition targets of 100 percent renewable electricity by 2035 and 100 percent renewable energy by 2050. The ETS provides a wide range of strategies to meet these goals through the streamlining of permitting solar energy systems and being proactive with the provision of EV charging stations to community engagement campaigns to encourage energy transitions to meet the ETS targets.
- B. Incorporate more sustainable practices in Township facilities. Pursue options for procuring power from renewable sources, including on-site renewable generation. Further consider incorporation of hybrid/EVs as part of the Township motor pool during the procurement process.
- C. Consider updating the zoning ordinance ([Chapter 325](#)) to encourage more sustainable building and development practices. Things that could be considered include, but are not limited to:

1. Solar energy. Solar energy systems are permitted by-right in all zoning districts subject to the standards set forth under [§325-44](#). Last amended in 2024, these should be monitored and amended as needed to address the technology as it evolves. The DVRPC has a [Solar Renewable Energy Ordinance Framework](#) that can serve as a reference for this effort.
  2. Geothermal energy. Geothermal energy systems could be permitted by-right in all zoning districts. General standards could be developed that include provisions relevant to when land development approval may be required as well as documentation from other agencies such as the Chester County Health Department and PADEP as required. The DVRPC has a [Geothermal Renewable Energy Ordinance Framework](#) that can serve as a reference for this effort.
  3. Electric vehicle (EV) charging. EV charging stations are permitted in all zoning districts subject to the standards set forth under [§325-33](#). These standards should be monitored and amended as needed to address the technology as it evolves.
  4. Impervious pavement reduction. Review and amend as appropriate [§325-39\(G\)](#) and [§325-39\(H\)\(6\)](#) to ensure minimum parking requirements are not resulting in excessive, unused parking areas. Consideration could further be given to eliminating most minimums and requiring studies as part of all land development applications to determine minimums on a case-by-case basis.
  5. Managed meadows. Consider amendments to allow for managed meadows and/or pollinator gardens. Actions can include establishing standards for managed meadows as part of the zoning ordinance as well as amending the property maintenance code to exclude each from tall grass requirements.
- D. Consider updating the subdivision and land development ordinance ([Chapter 281](#)) to encourage more sustainable building and development. The MPC specifically permits the SLDO to incorporate provisions that encourage the use of renewable energy systems and energy-conserving building design . Things that could be considered include, but are not limited to:
1. Solar energy. Consider requirements that encourage layouts and site design that maximize solar gain for rooftop solar energy systems. Assess potential incentives for projects that provide on-site solar, including solar parking lot canopies.
  2. Energy Star facilities. Consider requirements that encourage more sustainable heating and cooling systems (geothermal, heat pumps, etc.), as well as other more efficient facilities and components of building construction.
  3. EV charging. Consider requiring charging stations be provided in new parking lots, or at a minimum, EV infrastructure such as conduit and spaces/facilities that can easily be upgraded to include EV charging stations at a future date as warranted.
  4. Impervious pavement reduction. Consider revisions to [§281-37](#) to ensure parking lot landscaping reduces the heat island effect. Specific considerations include the creation of a defined list of trees appropriate for a parking area and requirements for soils in planting areas be protected from compaction during construction to allow for greater plant health and infiltration.
  5. Heat island reduction. Consider requirements to require “cool roofs” or “green roofs” for commercial land developments over a defined square footage.
  6. Further refinements. Consider reviewing both the International Green Construction Code and recommendations from the US Green Building Council and incorporate targeted measures to advance sustainable building and development practices as part of the land development process.

- E. Consider adopting a “benchmarking” ordinance for commercial businesses with footprints of over 25,000 square feet. The Township has been partnering with the DVRPC and their Energy Benchmarking Program, which is designed to measure, disclose, and gauge the energy consumption of commercial structures against similar facilities. This process of “benchmarking” will ensure businesses are able to operate more efficiently by highlighting inconsistencies or unnecessary energy use thereby saving money and reducing business greenhouse gas emissions.
- F. Collaborate with developers to ensure Homeowners Association (HOA) documents for subdivisions support sustainable activities like rooftop solar arrays, pollinator gardens, and managed meadows. Consider outreach to HOAs about projects such as creating riparian buffers, permitting alternative energy systems, and converting stormwater basins into naturalized infiltration basins, as well as other green and resilient practices.

## 5.5 References and Resources

Further information on housing choices, housing needs, and green building can be found through the following:

- Chester County Planning Commission, Commercial Landscapes Series  
<https://www.chescoplanning.org/municorner/ComLand/overview.cfm>
- Chester County Planning Commission, Housing Programs and Projects  
<http://www.chescoplanning.org/housing/housing.cfm>
- Chester County Planning Commission, Missing Middle Housing  
<https://www.chescoplanning.org/Housing/MissingMiddle/Introduction.cfm>
- Chester County Planning Commission, Planning Toolbox: Green Development Codes, Green Roofs, etc.  
<https://chescoplanning.org/MuniCorner/AllTools.cfm>
- U.S. Green Building Council, Leadership in Energy and Environmental Design program -  
<https://new.usgbc.org/>
- U.S. Department of Energy, Better Communities Alliance program  
<https://betterbuildingsolutioncenter.energy.gov/bca>
- West Chester Area 100% Renewable Energy Transition Study  
<https://sites.google.com/view/wcacog-100-re-transition/home>



»»»»» 6.0 Implementation



## 6.1 Introduction

This chapter presents the plan recommendations with pertinent information for their implementation. The recommendations are listed in the same order as presented in the preceding chapters. Also included are the corresponding chapter recommendation designation and the entities responsible for implementation. Specific methods of implementation can be found in their respective topical chapters.

## 6.2 Priority

Section 301(a)(4.2) of the MPC requires comprehensive plans include “a discussion of short-and long-range plan implementation strategies.” As this plan was developed as an implementable plan with fewer, but more targeted recommendations to address Township needs, all the recommendations herein are generally considered to be of a high priority.

## 6.3 Responsible Party

The Board of Supervisors sets priorities and assigns groups to undertake the tasks outlined in this chapter. These groups then provide their findings to the Board to inform actions that may be taken in the best interest of the Township. It is understood that all identified recommendations require Board support, participation, and approval in some form. As such, in the chart below, the Board of Supervisors are only specifically identified when the recommendation is under their exclusive purview.

For all the listed actions, Township staff will have some degree of involvement, and are not specifically listed in the chart below. The Zoning Hearing Board is not included as an identified group tasked with plan implementation as they only serve in a quasi-judicial capacity as the first arbitrator of situations involving zoning as defined by the Municipalities Planning Code.

The group or groups with primary responsibility for implementing a particular recommendation are listed under this heading.

### **Identified groups are as follows:**

- Board of Supervisors
- Planning Commission
- Historical Commission
- Public Services Commission
- Township Engineer

## Recommended Implementations



### Safe, Healthy, & Walkable

- 1-1** Ensure road standards and Township policy advance both safety and efficient mobility for all users and minimize conflict with contemporary best practices.  
*Lead Group: Township engineer, Planning Commission*
- 1-2** Continue coordination with PennDOT District 6 to ensure state-maintained roads evolve to advance safety and efficient mobility for all users.  
*Lead Group: Township engineer, Public Services Commission*
- 1-3** Continue coordination with SEPTA, Amtrak, and other service providers to enhance existing and support efforts to expand transit and other commuter services.  
*Lead Group: Public Services Commission*
- 1-4** Continue to develop a robust pedestrian and bicycle network providing for safe connections between the Town Center, parks, existing neighborhoods, and other community assets.  
*Lead Group: Planning Commission, Public Services Commission*
- 1-5** Continue to implement appropriate and prudent methods to fund transportation improvements.  
*Lead Group: Board of Supervisors*



### Natural & Historic

- 2-1** Improve and prioritize Township stormwater management efforts to protect public safety and ensure full compliance with state and federal mandates for water quantity and quality.  
*Lead Group: Borough Engineer, Planning Commission, Public Services Commission*
- 2-2** Coordinate with community partners to advance stewardship, further preserve and naturalize protected open space and waterways of the Township.  
*Lead Group: Public Services Commission*
- 2-3** Review and amend natural resource protection standards to advance protection, stewardship, restoration, and interpretation of natural resources.  
*Lead Group: Planning Commission*
- 2-4** Empower community action through Township-led education and resources, inspiring collective efforts to protect and preserve our precious natural resources.
- 2-5** Continue efforts to ensure historic resources remain an integral and vibrant part of the Township's fabric.  
*Lead Group: Historical Commission, Planning Commission*
- 2-6** Consider applying for Certified Local Government (CLG) status for the Township.  
*Lead Group: Historical Commission*



## Trusted, Reliable, & Efficient

- 3-1** Maintain effective and efficient communications with residents and businesses regarding Township business, safety concerns, and other topics that impact community members.  
*Lead Group: Public Services Commission*
- 3-2** Annually develop and implement a fiscally responsible Township budget that is responsive to evolving needs regarding provision of services and facilities.  
*Lead Group: Board of Supervisors*
- 3-3** Support effective and efficient governance through appropriate administrative and funding support of volunteer commissions and committees.  
*Lead Group: Board of Supervisors*
- 3-4** Ensure high-quality park and recreation facilities are accessible and adaptable community destinations for residents of all ages and abilities.  
*Lead Group: Public Services Commission*
- 3-5** Support emergency and first responders to protect the health and safety of Township residents.  
*Lead Group: Board of Supervisors*
- 3-6** Support public works to facilitate timely and responsive services for Township residents and businesses.  
*Lead Group: Board of Supervisors*
- 3-7** Ensure Township sewage and water facilities continue to receive adequate funding and evolve as technology warrants.  
*Lead Group: Township engineer, Public Services Commission*
- 3-8** Provide for and evaluate trash and recycling services for Township residents.  
*Lead Group: Public Services Commission*
- 3-9** Continue to support educational institutions and their provision of high-quality school facilities and programming to serve community members.  
*Lead Group: Board of Supervisors, Planning Commission*



## The Crossroads

- 4-1** Continue efforts to transform The Crossroads into a vibrant, mixed-use town center serving both residents and visitors alike.  
*Lead Group: Planning Commission, Public Services Commission*
- 4-2** Create or enhance green and functional public spaces in commercial areas.  
*Lead Group: Planning Commission, Public Services Commission*
- 4-3** Ensure industrial/office uses continue to thrive with evolving preferences and needs.  
*Lead Group: Planning Commission*
- 4-4** Support the successful creation of new businesses and retention of existing businesses through partner coordination, information sharing, and other means.  
*Lead Group: Board of Supervisors*



## Livable & Vibrant

- 5-1** Consider amendments to zoning ordinance to support adjustments for the Future Land Use plan.  
*Lead Group: Planning Commission*
- 5-2** Ensure that all new development and redevelopment projects implement the most impactful and effective measures to mitigate impacts of stormwater runoff.  
*Lead Group: Township Engineer, Planning Commission*
- 5-3** Continue to work with partners and outside providers to mitigate the impacts of development and redevelopment projects on existing infrastructure.  
*Lead Group: Planning Commission, Public Services Commission*
- 5-4** Continue to support a variety of housing choices throughout the Township.  
*Lead Group: Planning Commission*
- 5-5** Develop strategies to ensure the long-term viability of institutional uses while minimizing their impacts on adjoining uses.  
*Lead Group: Planning Commission*
- 5-6** Develop strategies to better inform residents of homeowners associations (HOAs), their responsibilities, and when the Township may intervene to facilitate resolutions.  
*Lead Group: Township Engineer, Planning Commission*
- 5-7** Encourage sustainable practices and opportunities for residents, businesses, and Township operations.  
*Lead Group: Planning Commission, Public Services Commission*



Appendices: A - F

**Appendix A: Existing Conditions.....95**

**Appendix B: Demographics .....124**

**Appendix C: Zoning .....137**

**Appendix D: Participation.....149**

**Appendix E: Glossary .....159**

**Appendix F: Mapping.....163**





Appendix A:  
Existing Conditions

## A-1 - Introduction

This appendix describes the factors having significant impacts on planning, growth, and resources in the Township and provides context within the larger region. This inventory of existing conditions helps to inform the development of policies and recommendations for West Whiteland Township. This assessment of existing conditions represents a snapshot of conditions in the Township in 2025 and may not be as representative of the Township at the end of the plan's time horizon.

## A-2 - Existing Land Use and Zoning

### A-2-A - Existing Land Use

The Township contains a diversity of land uses. The Route 100 corridor is predominately commercial in nature and serves the broader region with its numerous retail services and development. The Business Route 30 corridor contains more limited retail areas, significant areas of industrial and office uses, and medium to higher-density residential options. Residential development exists south of Route 30 (medium-sized lot single family homes, and a large area of townhomes in the vicinity of the 100/30 interchange), the northwest quadrant (medium-sized lot single family homes, and areas of townhomes/multi-family adjacent to commercial areas), and the northeast quadrant between 100 and Exton Park (medium-sized lot single family homes). Exton Park is located within the northeastern quadrant of the Township and is by far the largest, continuous area of protected open space in the Township.



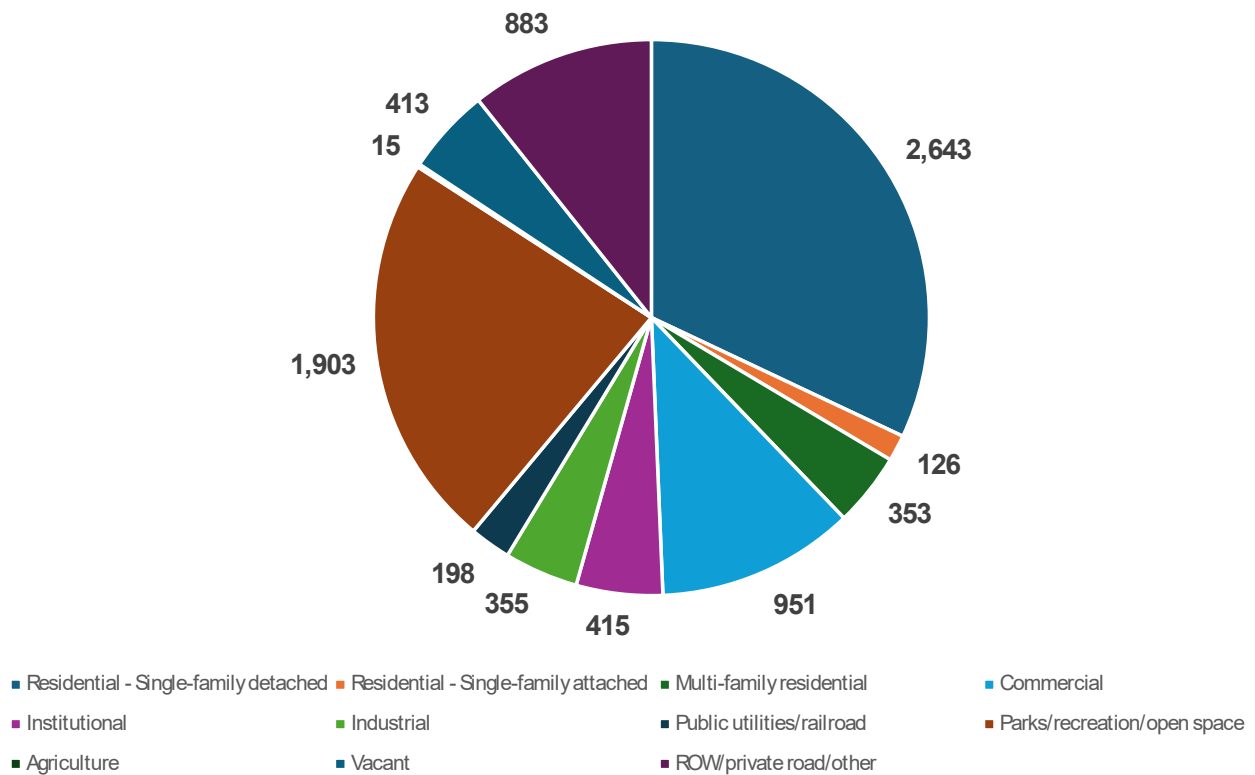
*West Whiteland has a diverse built environment with a variety of uses existing in close proximity to one another.*

Overall land use in West Whiteland has seen significant change since the 1994 Comprehensive Plan. The Exton Bypass and exit at Route 100 opened in 1995 and served as a catalyst for development in its vicinity with retail destinations such as Main Street at Exton and Walmart. Route 100 has remained predominately a commercial corridor; however by the 2020s significant residential development started appearing along both Route 100 and Business 30 corridors. These residential developments provide a variety of housing options from single-family homes and townhouses to multi-family units. Further development and redevelopment will continue the evolution of these areas from predominately commercial and industrial areas to mixed-use communities. Established residential communities have remained relatively unchanged with limited areas available for infill development. This section provides an inventory and analysis of current land use that serves as a basis for analyzing future development patterns.

### A-2-B - Existing Land Use Categories

The data and figures in this section are based upon Chester County parcel data, adjusted for land use by Chester County Planning Commission (CCPC) staff. Including road rights-of-way, the total acreage of the Township encompasses 8,272 acres with 6,911 total parcels.

Existing Land Use Acreage by Category

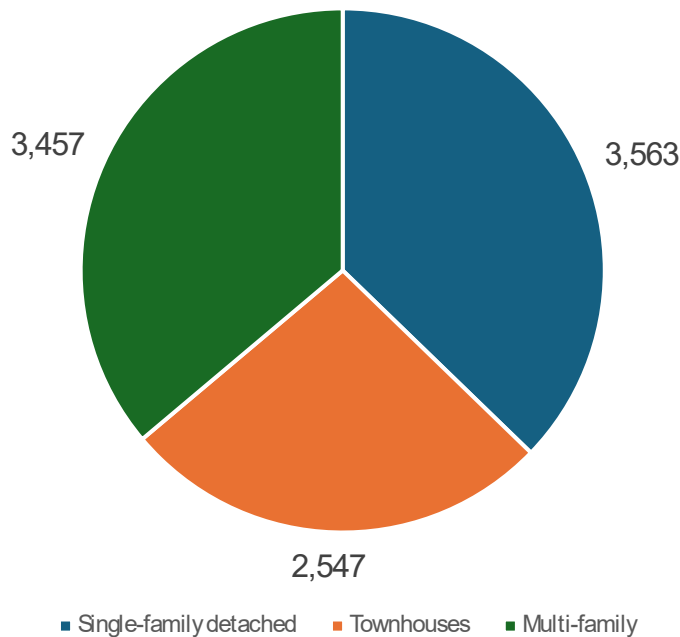


**Residential:** Single-Family Detached: 2,643 acres – 32%. The single-family detached house on an individual lot encompasses the most acreage of existing land use in the Township. This designation encompasses 3,563 separate parcels.

**Residential:** Single-Family Attached: 126 acres – 1.5%. The single-family attached house designation includes townhouses located throughout the Township with their greatest concentration south of Route 30. Although a small acreage, this designation encompasses 2,547 separate parcels.

**Multi-family Residential:** 353 acres – 4%. Includes all properties classified as multi-family or apt.

Residential Units by Type



*\*Source: Chester County Assessment (2025)*

**Commercial:** 951 acres – 11.5%. Commercial uses include office buildings, retail stores, restaurants, and shopping centers.

**Institutional:** 415 acres – 5%. Private and public schools, churches, municipal buildings, and other public uses make up the institutional category.

**Industrial:** 355 acres – 4%. Industrial uses include manufacturing, warehousing & quarry operations.

**Public Utilities/Railroad:** 198 acres – 2%. This primarily includes railroad rights-of-way and public utility facilities throughout the Township.

**Parks/Recreation/Open Space:** 1,903 acres – 23%. These areas include Exton Park, all publicly owned Township parks, the Whitford Country Club, and areas of preserved HOA open space.

**Agriculture:** 15 acres – 0.2%. Agricultural land in the Township only includes three properties.

**Vacant:** 413 acres – 5%. This category includes all parcels that are currently undeveloped, regardless of zoning and constraints to development..

**R.O.W./Private Road/Other:** 883 acres – 11%. This category includes all public road rights-of-way, private roads, and portions of parcels located within the Township, but are under the jurisdiction of a neighboring Township.

## **A-2-C - Zoning**

West Whiteland's Zoning Ordinance provides guidance and requirements for the development of land within the Township (See Appendix F, Zoning map). Since 2004, the Township has amended the zoning ordinance 35 times to varying degrees but has not had a comprehensive update since 1998. Most of the Township is comprised of the three lowest density residential zones (R-1, R-2, and R-3), while the other zoning districts are in the general vicinity of Route 100, Lincoln Highway, and Route 30 corridors, and take up smaller, but significant total acreages within the Township. In 2025, zoning included the following districts:

**R-1 District:** The R-1 District is designed to provide for continued low density, single-family residential development. Clustering provides development options where special consideration is given to preservation of environmental resources and open space. The minimum lot size for this district is one (1) acre per dwelling unit.

**R-2 District:** The R-2 District is designed to provide for moderate density residential uses to serve as transition areas between lower density residential uses and higher density uses. The minimum lot size for this district is 22,000 square feet per dwelling unit.

**R-3 District:** The R-3 District is designed to provide for moderate to higher density residential uses which are compatible with existing development and directly accessible to major highways and commercial uses. The minimum lot size for this district is 14,000 square feet per dwelling unit.

**R-4 District:** The R-4 District is designed to encourage the preservation of open space and encourage desirable conditions for good design and properly maintained manufactured home parks. The minimum tract size for this district is five (5) acres with a gross density of four (4) dwelling units per acre.

**TC – Town Center Mixed Use District:** The TC District is designed to promote the development of a pedestrian-oriented central area which contains an integrated mix of residential, retail, office, entertainment, civic, institutional, and recreational uses which can serve as a community focal point. The TC District encourages innovative planning techniques facilitating higher-quality development with unified architectural and building schemes, walkways connecting buildings, bi-

cycle and mass transit access, unified landscaping and signage, and coordinated storm drainage and open space areas. The minimum tract size for this district is two (2) acres.

**NC – Neighborhood Commercial District:** The NC District is designed to permit the development of neighborhood convenience centers. NC zoned properties are located on an arterial, major collector or minor collector street and serve a neighborhood trade area. The minimum lot size for this district is 30,000 square feet.

**O/L – Office/Laboratory District:** The O/L District is designed to encourage campus-type office buildings, institutional and/or laboratory and research development, and to further serve as a transition from commercial or industrial uses to residential uses. The minimum lot size for this district is two (2) acres.

**O/R – Office/Residential District:** The O/R District is designed to accommodate development that integrates mixed-uses to create live-work communities providing high aesthetic quality and facilitating alternative transit options. The O/R further accommodates development serving as a transition between the higher density permitted in the TC district, highway-oriented uses, and the lower densities elsewhere in the Township. The minimum lot size for this district is two (2) acres for non-residential uses and is variable for residential uses.

**O/C – Office/Commercial District:** The O/C District is designed to accommodate developments that integrate commercial and office-type uses at high-visibility locations, not well suited for residential use, and that require the ease of access afforded by Lincoln Highway and nearby mass transit facilities. The minimum lot size for this district is two (2) acres.

**I-1 – Limited Industrial District:** The I-1 District is designed to be compatible with surrounding residential and commercial districts and maintain a consistent degree of aesthetic quality. The I-1 is specifically suitable for light manufacturing and assembly, research and development, wholesale, distribution, and service uses. The minimum lot size for this district is two (2) acres.

**I-2 – General Industrial District:** The I-2 District is designed to be isolated from residential and commercial uses and suitable for the less labor-intensive uses that require relatively larger sites, and which may be expected to retain less aesthetic quality, such as heavy manufacturing and bulk raw material processing. The minimum lot size for most uses in this district is three (3) acres.

**Overlay Districts:** There are numerous Overlay Districts that provide different criteria and requirements, in addition to those prescribed for the underlying district, for a variety of different uses as well as protected areas. Overlays that provide for environmental protections include those for Floodplain Conservation, Steep Slope Conservation, and for Carbonate Area(s). Overlays that provide for cultural preservation include Historic Preservation standards. Overlays that provide for additional criteria for specific uses include those for the Airport Overlay Institutional District, and the Rail Transit Overlay.



*Completed in 2020, the bike and pedestrian path along PA Route 100 at US Route 30 provides non-motorists safe access to the Exton Train Station.*

## **A-3 Circulation**

### **A-3-A - Roadway Network**

West Whiteland Township contains 135.72 miles of roads. PennDOT owns and maintains 39.77 miles of the network (Routes 30, Business 30, 100, Boot Road, Copeland School Road, Grove Road, King Road, Phoenixville Pike, Ship Road, and Whitford Road ), and West Whiteland Township owns and maintains 70.07 miles (See Appendix F, Roadway Ownership & Estimated Daily Traffic map).

Three major highways traverse the Township: Route 30, Business Route 30 (Lincoln Highway), and Route 100 (Pottstown Pike). Route 30 is a limited access highway that crosses the central portion of the Township, and its interchange with Route 100 provides direct access into the Township at Exton. Business Route 30 and Route 100 are regional highways in the central portion of the Township that serve as primary east/west and north/south corridors through West Whiteland.

Other important roads in the Township include Boot Road, Ship Road, and Whitford Road which provide linkages with major highways and access to residential communities and commercial developments within the Township.

### **A-3-B -Highway Functional Classification**

Functional classification describes a roadway's purpose, and as one moves downward through the hierarchy of roadway classifications, the expected traffic volumes and speeds decrease and the level of access from adjacent properties to the roadway increases. (see Appendix F, Highway Functional Classification map).

| Full Road Name                   | Highway Functional Class | Length (mi) | Average Daily Traffic |
|----------------------------------|--------------------------|-------------|-----------------------|
| Route 30                         | Expressway               | 4.36        | 21,142                |
| Route 202                        | Expressway               | 1.39        | 24,392                |
| Route 100                        | Expressway               | 1.02        | 18,603                |
| East Lincoln Highway             | Principal Arterial       | 2.21        | 12,650                |
| West Lincoln Highway             | Principal Arterial       | 2.06        | 10,350                |
| Pottstown Pike (North of Rte 30) | Principal Arterial       | 1.90        | 18,066                |
| East Boot Road                   | Major Arterial           | 1.24        | 11,648                |
| West Boot Road                   | Major Arterial           | 2.05        | 9,776                 |
| Pottstown Pike (South of Rte 30) | Major Arterial           | 1.56        | 6,002                 |
| Grove Road                       | Major Collector          | 0.82        | 3,614                 |
| King Road                        | Major Collector          | 2.08        | 3,494                 |
| Phoenixville Pike                | Major Collector          | 1.43        | 6,441                 |
| North Ship Road                  | Major Collector          | 1.89        | 4,945                 |
| South Ship Road                  | Major Collector          | 1.48        | 9,659                 |
| East Swedesford Road             | Major Collector          | 2.23        | 10,537                |
| Waterloo Boulevard               | Major Collector          | 1.02        | 300                   |
| North Whitford Road              | Major Collector          | 1.05        | 8,072                 |
| South Whitford Road              | Major Collector          | 1.61        | 8,447                 |
| Burke Road                       | Minor Collector          | 1.48        | 300                   |
| Clover Mill Road                 | Minor Collector          | 1.10        | 300                   |
| Commerce Drive                   | Minor Collector          | 1.12        | 300                   |
| Copeland School Road             | Minor Collector          | 0.65        | 2,281                 |
| Shoen Road                       | Minor Collector          | 1.10        | 3,001                 |
| Valley Creek Boulevard           | Minor Collector          | 0.65        | N/A                   |
| Whitford Hills Road              | Minor Collector          | 1.18        | 2,569                 |

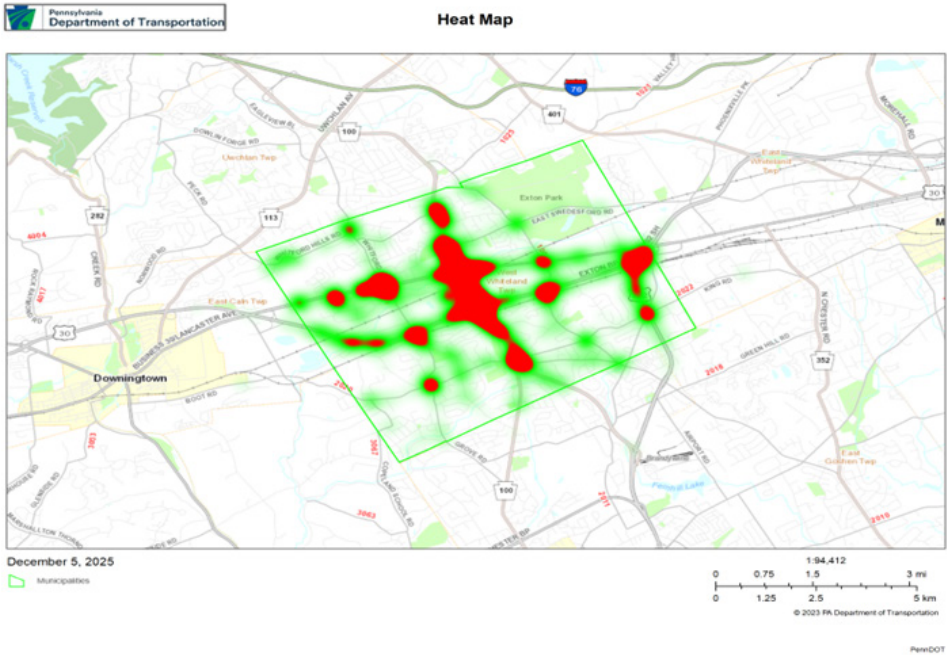
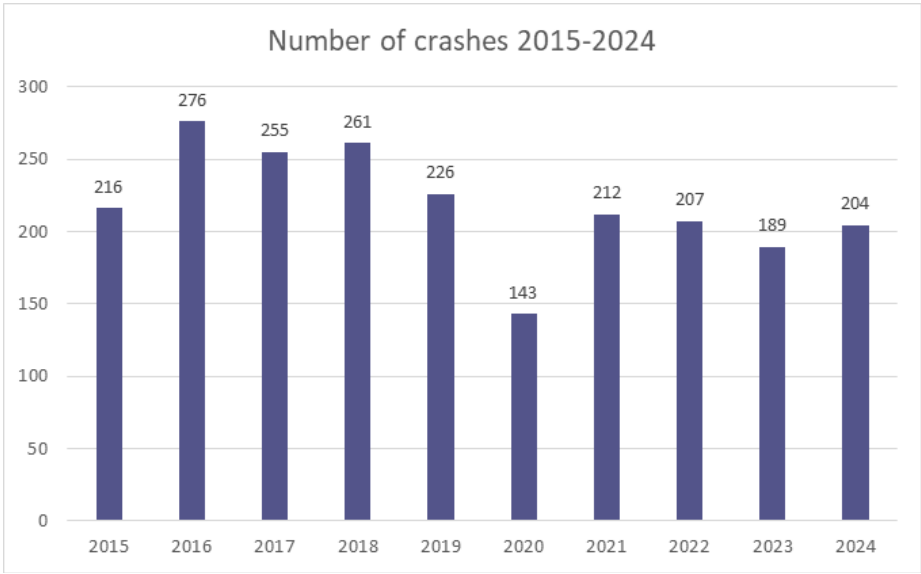
*\*Source: Chester County Planning Commission (2018)*

### **A-3-C - Private Streets**

A private street is a street, serving only abutting lots, that is not offered or required to be offered for dedication to the Township or PennDOT. These roads are increasingly common in newer residential communities, where a homeowners' association is responsible for their maintenance. Responsibility for private roads generally falls to the property owners along the road who share in the cost of maintenance through a shared agreement outlining responsibility, repairs, and terms. The required standards for a private street in the Township generally mirror those for local streets in the Subdivision and Land Development ordinance. There are 25.88 miles of private roads within the Township.

### A-3-D - Crash Data

PennDOT crash data shows a general decline in reported incidents in the Township since 2015. After a peak of 276 incidents in 2016, by 2024, only 204 incidents were reported in the Township. Crashes during this period were concentrated along three corridors: Route 100, Route 30, and Lincoln Highway.



### A-3-E -Traffic Calming

The Institute of Transportation Engineers (ITE) defines traffic calming as the combination of mainly physical measures that reduce the negative effects of motor vehicle use, alter driver behavior, and improve conditions for non-motorized street users. Traffic calming is inclusive of a wide range of measures ranging from bulb-outs, chicanes, and speed tables to roundabouts and road diets.

Prior to implementation of any traffic calming measure, a traffic calming study should be conducted. This study should evaluate existing traffic counts and speeds and determine if they are in excess of what is acceptable for its functional classification. If traffic calming measures are deemed warranted, then the measure chosen should further consider impacts to EMS vehicles, snow removal, drainage, overall streetscape, and ADA requirements when applicable.

### A-3-F -Level of Service (LOS)

As defined by PennDOT, LOS is a quantitative measure of operating conditions within a traffic stream and its perception by motorists and passengers. LOS standards as in the Highway Capacity Manual (HCM) and AASHTO Green Book include six levels, ranging from A (best operating conditions) to F (worst operating conditions), and typical measures of effectiveness include speed, travel time, density, and delay. A roadway with a LOS of D or greater is generally considered to be at an acceptable level.

**LOS A:** Free flow, near no delay.

**LOS B:** Reasonably free flow with slight delays.

**LOS C:** Stable flow, maneuvering can become more restrictive.

**LOS D:** Approaching unstable flow, with slightly decreased speeds.

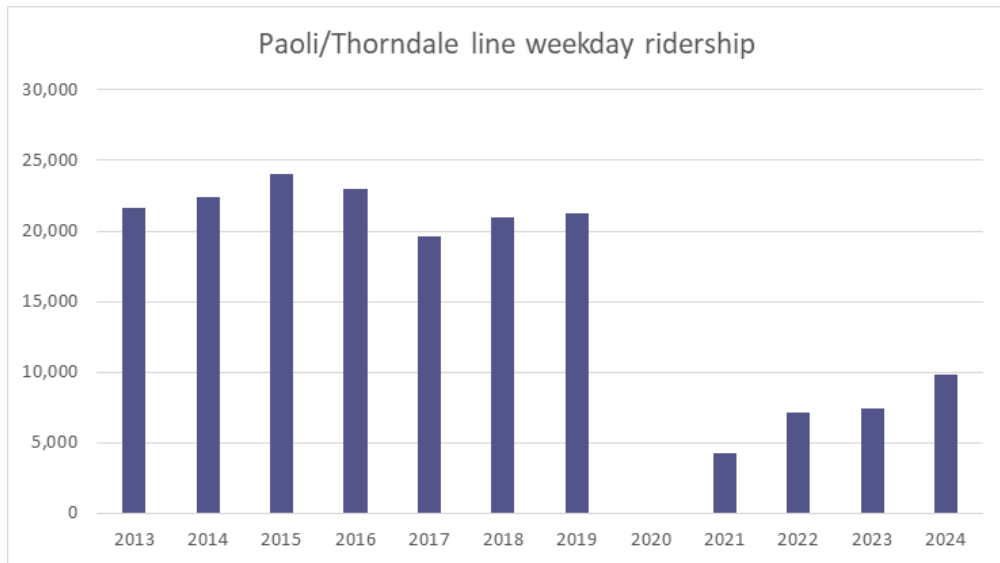
**LOS E:** Unstable flow, with irregular flow and speeds.

**LOS F:** Forced flow, breakdown of traffic, excessive delays and queues.

LOS classifications were utilized by the Township in the identification of proposed road and intersection improvements as part of the September 2015 Capital Improvements Plan.

### A-3-G -Public Transit

SEPTA's Paoli/Thorndale Line parallels Route 30 through the central portion of the Township, providing connections to Philadelphia from the Exton and Whitford Train Stations. Exton station was rededicated in March 2020 after its complete reconstruction inclusive of high-level platforms and a station building. Ridership on the line peaked in 2015 with an average weekday ridership of 24,018, with ridership of 21,284 by 2019. With the significant shift in commuting patterns because of COVID, ridership has decreased with only 9,814 riders in 2024. It should be noted though ridership continues to improve since 2020, and all of the services provided by SEPTA prior to 2020 have not all been restored as of 2025.



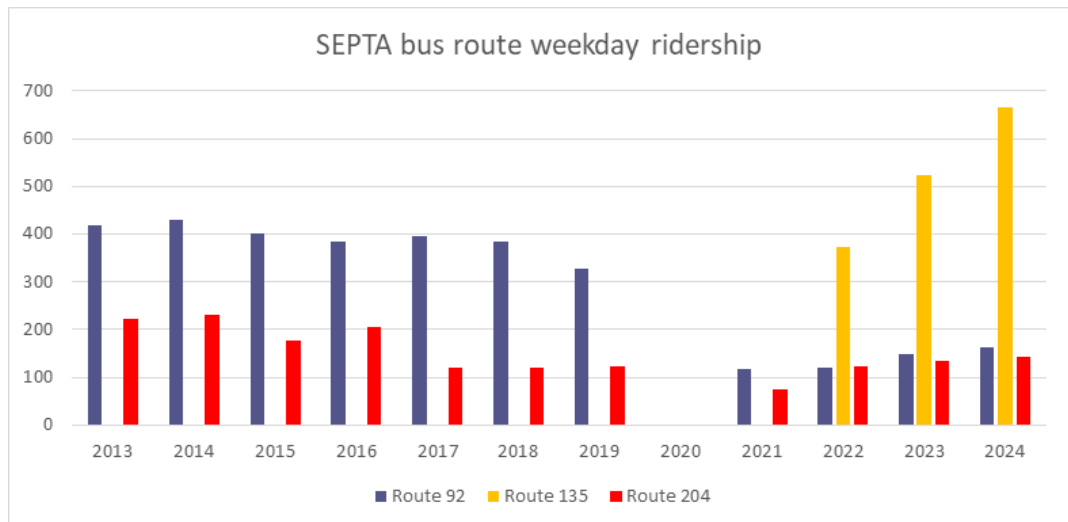
*\*Ridership statistics unavailable for 2020 due to impacts of the COVID pandemic.*

Amtrak further provides inter-city train service from Exton as part of both their Keystone Service and Pennsylvanian routes to Pittsburgh, Harrisburg, Philadelphia, and New York City. After a drop in ridership due to the COVID pandemic, ridership on Amtrak has almost fully rebounded to its number prior to 2020 with 133,900 riders from Exton in 2024.



Bus services are provided by SEPTA and Chester County through Chesco Connect in the Township. Ridership figures had been relatively stable in the Township prior to the significant decline in ridership resulting from the COVID pandemic in 2020. Since 2020, ridership for Routes 92 and 204 have stabilized, albeit significantly less than prior to 2020. Route 135, which SEPTA has operated since 2022 has seen significant gains in ridership by providing a transit connection to many population centers of central Chester County. SEPTA Suburban Division bus services in West Whiteland include:

- **Route 92 (Exton to King of Prussia)** – Provides service along Phoenixville Pike and King Road between West Chester and Malvern.
- **Route 135 (West Chester to Coatesville)** – Provides service along Pottstown Pike and Lincoln Highway via Exton Square Mall in the southern and western areas of the Township. Prior to 2022, this was Krapf’s Route A operated by Transportation Management Association of Chester County (TMACC).
- **Route 204 (Eagleview to Paoli Train Station)** – Provides service along Pottstown Pike and Lincoln Highway via Exton Square Mall in the southern and eastern areas of the Township

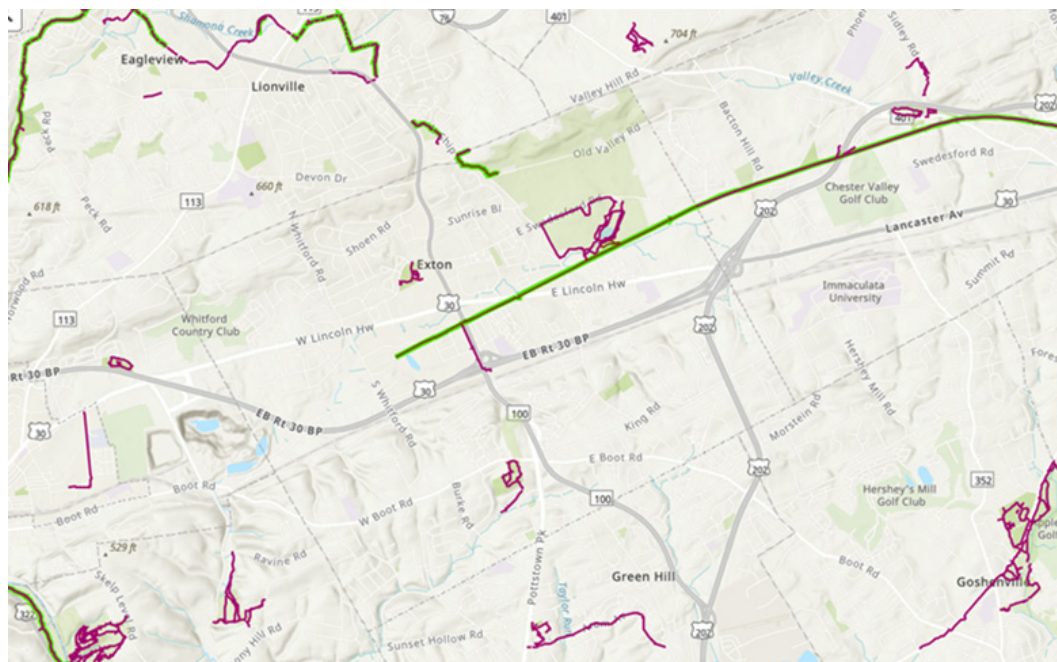


\*Ridership statistics unavailable for 2020 due to impacts of the COVID pandemic.

Chester County operates the Chesco Connect bus service that provides door-to-door shared ride transportation for County residents. The service is available County-wide and is discounted for both seniors and persons with disabilities.

## A-3-H -Pedestrian and Bicycle

Adopted in 2019, the Township Bicycle and Pedestrian Plan provides a comprehensive inventory of existing pedestrian and bicycle facilities in West Whiteland. It further identifies 14 priority project areas to improve pedestrian and bicycle facilities and suggests numerous ways for their implementation. The proposed improvements highlighted in this plan include 3.8 miles of trails, 10.7 miles of sidewalks, 37.1 miles of signed bike routes and 40 intersection improvements. Given its more recent adoption, much of what it proposes is still valid and should continue to be utilized to expand the Township's pedestrian and bicycle network. Trails and sidewalks play an important role in multi-mobility throughout the Township, and additional information regarding this network can be found in A-6 Parks, Recreation, and Open Space.



*This map illustrates regional trails as of December 2025 and how proposed extensions of facilities such as the Chester Valley and Uwchlan Trails will provide for even more pedestrian/bicycle connectivity to destinations outside of the Township.*

### **A-3-I -Transportation Funding**

Municipal Liquid Fuels Program: Funding for local transportation facility maintenance and improvements primarily comes from PennDOT's Municipal Liquid Fuels Program. These funds support construction, reconstruction, maintenance, and repair of public roads or streets. The amount of a municipality's allocation is based on its population and miles of roads on its approved Liquid Fuels Inventory. To be eligible for the allocation, a road must have minimums of 33 feet of total right-of-way, 16 feet of cartway, and a length of 250 feet. If the road is a dead end, it must have a cul-de-sac at the end with a minimum 40-foot radius. To continue to receive Liquid Fuels funds, a road must be maintained in such a condition that it can be driven safely at 15 mph. For 2025, West Whiteland received a gross allocation of \$566,540.97 from the Municipal Liquid Fuels Program.

TII/TIP (Transportation Improvements Inventory/Program): Identification of desired transportation improvements is an on-going process as priorities change and improvements are achieved. Funding sources change over time, and communities must respond accordingly to move their projects forward. The path from a transportation need to a funded and completed project is typically a long process. The first step should always be identifying the community's transportation needs.

In Chester County, a primary method of identifying transportation needs is the Chester County Planning Commission's Transportation Improvements Inventory (TII), a single inventory of identified transportation improvements submitted by all municipalities. The TII encourages municipalities to plan for and prioritize their transportation needs and is the first step for a project to become listed on the DVRPC's Transportation Improvements Program (TIP).

The TIP the regionally agreed upon list of priority transportation projects, as required by federal law. The TIP must list all projects that intend to use federal funds, along with all non-federally funded projects that are regionally significant. In addition to highway and public transit projects, the list includes bicycle, pedestrian, freight-related, and innovative air quality initiatives. The TIP is approved by the Pennsylvania legislature and Federal Highway Administration every other year.

## A-3-J -Transportation Projects

There were three projects within West Whiteland on the 2023-2026 Delaware Valley Regional Planning Commission's Transportation Improvements Program (TIP):

- Phase 2 multimodal improvements and Phase 3 parking expansion at Exton Station (SEPTA reevaluating project due to reduced ridership).
- PA 100 northbound expansion (third northbound lane) at Exton Station and safety improvements. This project was a direct result of the Township undertaking a Congestion Mitigation Study for PA 100 from Boot Road to the Route 30 Bypass in 2018. This study was then used in conjunction with PennDOT to get the project successfully on the TIP in 2022. This project is a great example the Township identifying a problem, doing the planning and lobbying for the project to be funded.
- Replacement of the bridge spanning Valley Creek along Ship Road.

**In addition to TIP projects, the following projects were listed on the 2025 TII:**

| TII#   | Project                                  | Project Type                            |
|--------|--|---|
| PTS3   | Exton Train Station (garage + bus loop)  | Garage, bus loop                        |
| BP1    | CVT: Exton to Oaklands                   | Multi-use trail                         |
| BP2    | CVT: Extension to Downingtown            | Multi-use trail                         |
| BP29   | CC Library to CVT connector              | Trail                                   |
| BP30   | CVT Spur: Business 30 to Commerce Dr.    | Trail connection                        |
| BP51   | Whitford Rd. path south                  | Bicycle/pedestrian path                 |
| BP64   | Whitford Rd. to Pottstown Pk. Connector  | Sidewalks                               |
| BP65   | Exton Mall and Exton Park connector      | Sidewalks                               |
| SB3    | Lancaster Ave. over Branch Valley Creek  | Replace or rehab                        |
| SB6    | Ship Rd. over Valley Creek               | Replace or rehab                        |
| SB13   | Whitford Rd. under Amtrak                | Replace underpass                       |
| OP2    | Pottstown Pike closed loop system        | Traffic signal upgrade                  |
| OP7    | Whitford Rd. Amtrak underpass low bridge | Warning system                          |
| OP10   | Ship Rd. Amtrak underpass low bridge     | Warning system                          |
| RW4    | PA 100 near Exton Train Station          | Reconfigure for 3 NB thru lanes         |
| INT29  | Boot Rd. at Ship Rd.                     | Safety improvement                      |
| INT114 | Ship Rd. at King Rd.                     | Signalization/intersection improvements |



## A-4 - Community Facilities and Services

### A-4-A - Administration and Facilities

The Township building is located at 101 Commerce Drive. The building was completed in 2009 and includes offices for Township administrative staff and the police department. The public works department is housed at a facility completed in 2025 located at 121 Valley Creek Boulevard. Maintenance work such as snow removal, mowing, and park maintenance is handled by the Township public works department.

West Whiteland is a Township of the Second Class and has been under a Home Rule Charter since 1974. Governed by three elected officials that form the Board of Supervisors, all members of the Board of Supervisors are elected to six-year, overlapping terms, and receive a stipend for their service. All three members of the Board of Supervisors are elected at-large. The Board of Supervisors appoint a Township Manager who oversees the various specialized Township departments and staff and is responsible for the day-to-day operations of administering Township business. The Board also appoints the Chief of Police who oversees the administration of the Police Department.

## **A-4-B -Volunteer Groups/Citizen Participation**

The involvement of residents is essential to effective and efficient municipal operation in Pennsylvania. Many Township residents are actively involved in community efforts. Citizen participation allows the Township to make use of local knowledge, ensures that West Whiteland is responsive to residents and businesses, and reduces administrative costs. The following is a list of currently active Township volunteer and citizen participation groups, with the number of members in parentheses:

**Planning Commission (7)** – Updates and oversees implementation of the Comprehensive Plan, Subdivision and Land Development, and Zoning ordinances. Makes recommendations on all subdivision and land development applications for consideration by the Board of Supervisors. Each member has a term of four years.

**Historical Commission (9)** – Advises Township staff and other Boards and Commissions on matters concerning preservation of historic resources and raises awareness and encourages stewardship of these resources. Each member has a term of five years.

**Public Services Commission (10)** – Provides both the Board of Supervisors and Township staff recommendations, ideas, and feedback on a wide variety of topics. These topics include: parks and recreation, bike and pedestrian network, Township communications and services, stormwater education, traffic, sustainability, and representation of the whole community. Each member has a term of four years.

**Zoning Hearing Board (ZHB) (3)** – Quasi-judicial board that hears appeals for relief from decisions of the Zoning Officer and/or requirements in the Zoning Ordinance. In West Whiteland, the ZHB predominately hears applications for variances. (One Alternate Member is also appointed to this Board.) Each member has a term of three years.

**Board of Auditors (3)** – Reviews the annual financial statements that are prepared by an independent public accounting firm. Each member has a term of six years.

**Pension Advisory Board (5 residents, 2 non-voting employees)** – Oversees the investments of the police and non-uniformed pension plans as well as the OPEB Trust (Other post-employment benefits). Each member has a term of three years.

### **A-4-C -Public Outreach**

Public outreach is essential to inform residents about Township activities, thereby providing them an opportunity to voice opinions, volunteer, and participate in the Township's future direction. West Whiteland has a Public Information Officer on staff that regularly provides updates and information regarding Township news and events. The Township also manages a website (<https://www.westwhiteland.org/>) and social media (Facebook and Nextdoor pages) with accurate and up-to-date information. West Whiteland disseminates a biannual newsletter and weekly eNews.

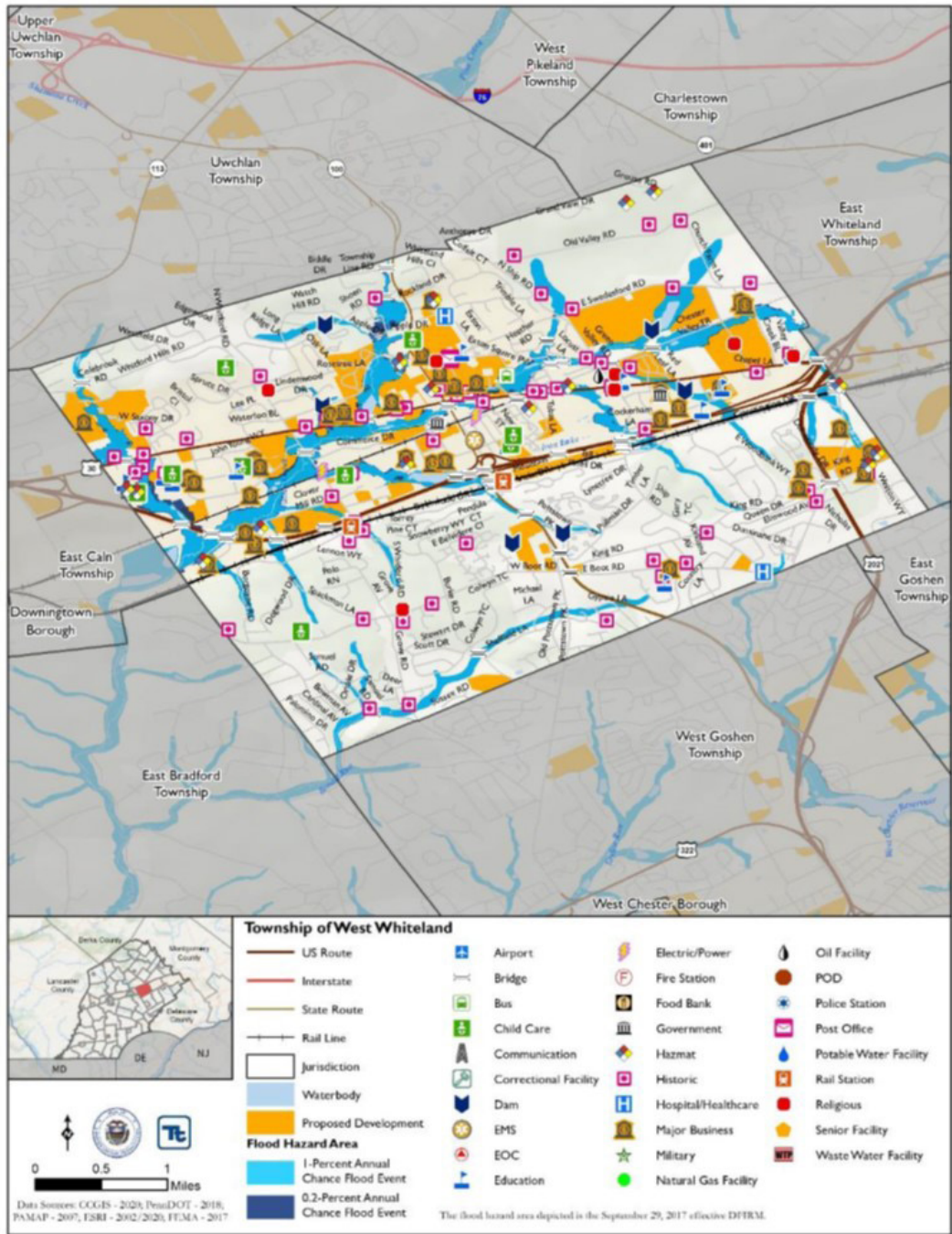
### **A-4-D -Finance and Budget**

Revenues collected by municipalities fund the wide variety of community services and facilities provided to residents. Municipal revenue can be generated from taxes, program fees, licenses, debt service and grants. Property taxes are expressed in millage (one-tenth of one cent) and are based on assessed value, not the market value.

According to the 2026 Township general fund budget summary, revenue categories include: earned income tax (EIT), real estate tax, real estate transfer tax, local service tax (LST), fees/licenses/permits, intergovernmental revenue, program revenues, violations, miscellaneous revenue, and investment income. The 2026 Township budget was \$14,897,193, which was a 7.6 percent increase from the 2025 budget. The Finance Section (<https://www.westwhiteland.org/220/Finance>) of the Township website provides for detailed breakdowns of current and past budgets.

### **A-4-E -Emergency Management**

In addition to the traditional emergency responses supplied by police, fire, and ambulance providers, every municipality has a responsibility to its residents to prepare for a variety of emergency situations. West Whiteland's Emergency Operations Plan was last adopted on October 11, 2023, and outlines the Township's coordination with other local, county, state, and federal agencies in the event of an emergency. The Township adopted the 2021 Chester County Hazard Mitigation Plan as the official Hazard Mitigation Plan for the Township on February 22, 2023. In addition to historical data on past events, this plan includes County-wide goals, objectives, and actions to decrease the impact of future disasters. The full plan and all information relevant to future updates can be found through the Chester County Department of Emergency Services, Hazard Mitigation Planning.



This is the map created for West Whiteland Township as part of the 2021 Hazard Mitigation Plan. The map illustrates locations for all of the various elements identified in the Plan.

### **A-4-F -Police/Fire/Ambulance**

Established in 1973, the 2025 West Whiteland Township Police Department currently consists of 29 dedicated sworn officers and two civilian support staff. The Chief of Police, who leads this department, is appointed by and reports to the Board of Supervisors. Officers patrol 24 hours a day, seven days a week. The Department responded to a total of 14,268 calls for service, both dispatched and officer-initiated, in 2025.

The Township is served by West Whiteland Fire Company, located at 227 Crest Avenue in the Whiteland Crest neighborhood, near the center of the Township Exton. The fire company is 100 percent volunteer and consists of more than 40 individual volunteers. The Company responded to 882 emergency incidents, and over 200 additional non-emergency notifications, in 2025.

The Township is served by the Good Fellowship Ambulance Club. Headquartered at 600 Montgomery Avenue in West Goshen Township, Good Fellowship serves all areas of the Township. Consisting of career employees, the Club responded to a total of 1,450 calls in 2025 in the Township.

While volunteers still play a critical role, fire and ambulance service is increasingly provided by career staff due to declining volunteer service throughout Chester County. The Township supports this type of volunteerism with several of the Township public works staff that are also volunteers and available during the daytime hours that are more difficult to staff. This has increased the need for funding for these emergency response services and has intensified the promotion of the role of volunteer service.

### **A-4-G -Solid Waste**

Through the end of 2026, West Whiteland Township has a contract with AJ Blosenski for municipal trash and recycling collection services. Most residences (aside from apartments and a few townhome communities) participate in the Township's Pay-As-You-Throw (PAYT) program where all trash for pickup must be placed in Township trash bags available for purchase. This program was adopted in part to encourage recycling to reduce tipping fees at the landfill by diverting residential refuse to recycling facilities when appropriate. Curbside recycling and bulk item pickup are also provided in conjunction with trash pickup on Tuesdays, and yard waste pick-ups are scheduled throughout the year.

### **A-4-H -Library**

Residents of Township are served by the Chester County Library (<https://www.ccls.org/>) and District Center, which is located adjacent to Exton Square Mall. The library is part of the Chester County Library System and provides materials, services, and programs for the community's educational, cultural, and recreational needs.

## A-4-I -Education

West Whiteland Township is part of the West Chester Area School District (WCASD), which operates seventeen public schools including three high schools, three middle schools, and eleven elementary schools. Exton and Mary C. Howse Elementary and Pierce Middle Schools are located in the Township. The WCASD administrative offices are located at 782 Springdale Drive in the Township.

In addition to the three WCASD facilities located in the Township, students from West Whiteland are districted for other schools outside of the Township. These schools include: Henderson High School in West Chester; East High School, J.R. Fugett Middle School, and East Goshen Elementary in East Goshen; Fern Hill Elementary and Greystone Elementary in West Goshen; and East Bradford Elementary.

| School                   | 2025 Enrollment |
|--------------------------|-----------------|
| Exton Elementary         | 532             |
| Mary C. Howse Elementary | 440             |
| Pierce Middle            | 1,042           |
| East Bradford Elementary | 452             |
| East Goshen Elementary   | 510             |
| Fern Hill Elementary     | 410             |
| Greystone Elementary     | 507             |
| J.R. Fugett Middle       | 932             |
| East High                | 1208            |
| Henderson High           | 1445            |

Source: WCASD

Located in West Whiteland

Also located within the Township is Collegium Charter School campus. The school consists of six separate buildings and is in the Oaklands Corporate Center. The school serves over 2,800 students in all grades from kindergarten through twelfth grade, with most of the students residing in the West Chester, Downingtown, and Coatesville Area School Districts.

In addition to public school facilities, there are several private educational facilities within the Township. These facilities include the Church Farm School, and SS. Philip and James School. Further, the Delaware County Community College – Exton Campus is located at 906 Springdale Drive.

### **A-4-J -Healthcare**

Hospital care is provided by Paoli Hospital, in Willistown Township and Chester County Hospital in West Chester. The Township also offers a variety of healthcare option to service the community and beyond. These consist of the Main Line Health Center and Penn Medicine Exton Campus for imaging, doctorial visits and urgent care. There are several additional medical practices providing family health care services, urgent care, specialty medicine, and dental care.

### **A-4-K -Services for Older Adults**

Although not located in the Township, the West Chester Area Senior Center, located in West Chester Borough, provides a variety of programs and services for seniors. Two long-term care facilities are located in the Township: Sunrise of Exton, located at 200 Sunrise Boulevard, and Arbor Terrace Exton, located at 100 Oaklands Boulevard.

### **A-4-L -Sewage Facilities**

Sewage facilities planning in Pennsylvania is governed by Act 537, which requires municipalities to plan for these services. A primary purpose of the plan is to determine how sewage facilities can best be provided to meet anticipated future land use needs. The Township Public Works Department owns and maintains approximately 100 miles of sewer line and five pump stations throughout the Township.

There are no sewage treatment facilities in the Township, and all sewage is either treated at the Downingtown Regional Water Pollution Control Center (DWRPCC) in East Caln or at the West Goshen Township Wastewater Treatment Plant. West Whiteland Township is one of the five municipalities forming the Downingtown Area Regional Authority (DARA), whose regional Act 537 plan was most recently updated in 2024. DARA provides sewage treatment for all properties connected to the system north of Route 30 and many of the properties connected between Route 30 and Boot Road.

The West Goshen Sewer Authority provides sewer treatment for most properties south of Boot Road and several larger developments between Boot Road and Route 30 such as Whiteland Woods, The Woodlands, and Wayne Court.

In addition to the above, a small area at the south-eastern corner of the Township is connected to the East Goshen system via the Mill Valley pump station.

## **A-4-M -On-Lot Septic Systems**

Although most of the Township is served by public sewer service, less than five percent of households (343 households) utilized on-lot systems as of 2023. Any development that proposes use of an on-lot system is regulated by the Subdivision and Land Development Ordinance and County Health Department regulations regarding on-lot sewage treatment requirements.

## **A-4-N -Water Facilities**

Most of the Township is served by public water service, which is provided by Aqua America, a regional water supplier. Those properties not served by Aqua America rely on private wells for water supply. According to the Pennsylvania Groundwater Information System, in December 2025, 750 private wells are located within the Township.

## **A-4-O -Stormwater Management**

Stormwater management is the safe and effective collection, control, infiltration, and treatment of the stormwater that flows overland into streams. When implemented it minimizes intermittent flooding, reduces erosion and sedimentation of streams, and reduces contamination of groundwater, surface water, and drinking water sources. High precipitation levels result in sustained high groundwater levels and stream flows, which place strain on stormwater management systems in the Township.

Stormwater management in West Whiteland Township is needed because impervious surfaces and unmanaged runoff can cause negative impacts on water quality and increase flooding. The Township allocates a portion of its annual budget to plan for and implement stormwater projects. Significant areas of the Township were predominately developed prior to modern stormwater management controls or within floodplain areas where present-day regulations would prohibit development. Further, there are older stormwater management facilities in the Township located and maintained on private land which do not meet up to date standards or are in disrepair. Modern stormwater collection systems, such as basins, swales, infiltration beds, etc. are scattered throughout the Township, particularly within the newer developments, which are typically owned and maintained by private individuals or homeowners' associations.

The Township owns over 4,400 stormwater structures (include but not limited to: inlets, manholes, pipes, BMPs, etc.), which is maintained and inspected on an annual basis. For private stormwater operations and maintenance and inspection, the Township enters into an operations and maintenance (O&M) agreement with the property owner (usually and HOA), highlighting the maintenance schedule of the BMPs on the property. It is the responsibility of the property owner to operate and maintain the stormwater system and make it function as it was designed. The Township has over 100 O&M agreements that require annual inspections and reporting on these stormwater systems.

In March 2022, the Township adopted a revised Pollution Reduction Plan (PRP) to address identified siltation issues across all Township watercourses. Proposed mitigation strategies include the construction of targeted bioswales to reduce siltation in both the West Valley Creek and East Branch Chester Creek/Ridley Creek watersheds.

In January 2024, the Board of Supervisors passed a resolution to create a Stormwater Task Force (STF). The four-member STF is tasked to investigate, study, identify and make recommendations to the Board of Supervisors concerning funding opportunities that may exist with respect to existing needs and future stormwater and flood resilience management planning. The STF is specifically tasked with following responsibilities:

- Evaluate and make recommendations that improve the effectiveness of the operations of stormwater management of the Township
- Stormwater infrastructure mapping
- Stormwater engineering improvements
- Forecasting future stormwater impacts
- Stormwater code amendments
- Stormwater education
- Preliminary engineering associated with identified projects

Stormwater management is regulated by the Township's Stormwater Management Ordinance (Chapter 270 of the Township Code). The Township's Stormwater Management Ordinance requires measures be implemented to alleviate problems caused by water runoff and pollution of streams. The Public Services Commission further provides feedback on public information initiatives to educate residents about stormwater management.

Because of the importance of stormwater management in watershed protection and planning, Goal 5 of the Chester County Water Resources Plan, Watersheds 2045 is to "reduce stormwater runoff and mitigate the impacts of flooding." Stormwater management is addressed by three major pieces of legislation:

### **Pennsylvania Stormwater Management Act (Act 167 of 1978)**

Act 167 assigns responsibility for addressing stormwater to the municipal level, to control runoff and reduce soil erosion. The Countywide Act 167 Plan was originally adopted in 2013 and updated in 2022 by Chester County and approved by PADEP. West Whiteland adopted the 2022 updated ordinance to Chapter 270 in April 2023 to be compliant with the most up-to-date requirements.

Pennsylvania Erosion and Sedimentation Control Act, Chapter 102 Chapter 102 establishes the basic planning and implementation requirements to be followed for any earth disturbance. The Chester County Conservation District has local responsibility for specific Chapter 102 program activities through an agreement with the PADEP. West Whiteland has a variety of regulations in various ordinances aimed at regulating, controlling, and mitigating erosion and sedimentation during land development.

## National Pollutant Discharge Elimination System (NPDES) Phase II regulations, specifically MS4.

West Whiteland Township is considered an urbanized area by the U.S. Census, and this designation impacts stormwater because the Environmental Protection Agency (EPA), and specifically the NPDES program, designates an urbanized area as “municipal separate storm sewer system” (MS4) and requires compliance with the NPDES MS4 permit program. As such, the entirety of the Township is subject to the MS4 permit program. In Pennsylvania, the NPDES MS4 program is administered by PADEP and the Chester County Conservation District. The permit program requires municipalities under its authority to implement several activities, as follows:

- Provide public education and outreach activities regarding stormwater;
- Provide public participation and involvement opportunities regarding stormwater management program development and implementation;
- Develop and implement a plan to detect and eliminate illicit discharges to the storm sewer system;
- Develop, implement, and enforce an erosion and sediment control program for construction activities that disturb one or more acres of land;
- Develop, implement, and enforce a program to address discharges of post-construction storm water runoff from new development and redevelopment areas; and
- Develop and implement a program with the goal of preventing or reducing pollutant runoff from municipal operations.

### A-4-P -Utilities

#### Transmission Pipelines

Numerous transmission pipelines traverse the Township, including transmission pipelines for hazardous liquid and gas. Transmission pipelines carry oil, petroleum products, natural gas, natural gas liquids, anhydrous ammonia and carbon dioxide from producing regions of the country to markets. According to the 2021 Chester County Hazard Mitigation Plan, 11,598 residents, or 63 percent of the total population of the Township reside within half a mile of a pipeline.

Although utility pipelines are regulated by the Pennsylvania Public Utilities Commission and the Federal Energy Regulatory Commission, the Township does regulate surface land uses affiliated with transmission pipelines under §325-28.3 of the zoning ordinance.

**Williams Gas Pipeline (Transco)** – This is a natural gas, interstate pipeline that traverses across the northern area of the Township.

**Laurel Pipeline (Buckeye Partners)** – This interstate pipeline transports hazardous liquids that traverses across the central area of the Township. It follows a path similar to that of the TE Products Pipeline.

**Sunoco Pipeline (Energy Transfer)** – This interstate pipeline transports hazardous liquids that traverses across the central and northeastern areas of the Township.

**TE Products Pipeline (Enterprise Partners)** – This interstate pipeline transports hazardous liquids that traverses across the central area of the Township. It follows a path similar to that of the Laurel Pipeline.

**Texas Eastern Pipeline (Enbridge)** – This is a natural gas, interstate pipeline that traverses across the far northeastern area of the Township.

### **Cell facilities**

Cell facilities are a site where antennas and electronic communications equipment are placed to create a cell, or adjacent cells, in a cellular network. The raised structure typically supports antennae and one or more sets of transmitter/receivers and other associated equipment. Cell facilities within West Whiteland are predominately collocated on existing infrastructure such as electrical transmission towers, water towers, and rooftops. The Township regulates cell facilities under Article XXII of the zoning ordinance for Wireless Communications Facilities.

### **Electrical transmission facilities**

PECO is the primary provider of electrical services in the Township. Although they do not have large electrical substations located within the Township, PECO maintains a significant infrastructure corridor spanning the Township from its border with East Whiteland near the Route 30/202 interchange to West Goshen Township at Grove Road. This corridor contains major above ground, electrical transmission lines connecting the Planebrook and Bradford substations. Although this corridor will remain undeveloped, areas of it have been leased for use as recreational facilities and open space for public enjoyment.

## **A-4-Q -Energy Conservation**

West Whiteland is a leader in working to source energy needs through renewable energy systems. Through the embrace of renewables, the Township seeks to reduce CO2 emissions and encourage more local production of energy. Actions the Township has taken to facilitate this include:

- **Ready for 100**

Ready for 100 was an initiative led by the Sierra Club that encouraged municipalities to make a pledge to complete the transition to 100% renewable energy. The resolution was unanimously adopted by the Board of Supervisors as Resolution 2020-36 at their August 12, 2020, meeting. The resolution states the Township will continue to work with the WCACOG on joint initiatives, and pursue independent Township initiatives, to implement the West Chester Area 100% Renewable Energy Transition Study recommendations and achieve the Study's goals of transitioning to 100% clean renewable electricity by 2035 and 100% renewable energy for all other energy uses by 2050 community-wide.

- **West Chester Area 100% Renewable Energy Transition Study**

The Township participated as a member of the WCACOG in the creation of a regional Renewable Energy Transition Study. Formally accepted by the Board of Supervisors at their March 20, 2020, meeting, the Study envisions pathways for utilization of 100% clean, renewable energy for community-wide electricity by 2035 and heat and transportation by 2050. The Study further provides feasibility, costs, and opportunities of this transition.



*Valley Creek traverses the Township from the northeast and is both a critical natural resource and riparian corridor.*

## A-5 - Natural Resources

### A-5-A - Watersheds

All of West Whiteland is in the Delaware Bay Basin, with most of the Township in the Christina River watershed, with a small area at the southeastern corner of the Township being part of the Delaware River watershed. The Brandywine Creek East Branch watershed comprises most of the Township, with Valley Creek and its tributaries flowing through the central areas of the Township. The Chester Creek watershed comprises a small area of the Township and is in the vicinity of the Boot/Ship Road intersection. The extreme southeast corner of the Township, mostly east of Route 202, is within the Ridley Creek watershed.

### A-5-B - Stream Designations

The Pennsylvania Department of Environmental Protection (PADEP) has put programs into effect to protect and improve water quality, promote preservation of higher quality streams, and achieve compliance with Chapter 93 of Pennsylvania's Clean Streams Law and Federal water regulations. The following designations apply to streams and watersheds in the Township.

- **Special Protection Waters**

Chapter 93 of the Clean Streams Law designates Exceptional Value (EV) and High Quality (HQ) waterways. Broad Run, located in the southwestern corner of the Township, is designated High Quality, indicating excellent quality waters with environmental features. As of 2024, no watercourse in the Township was designated as Exceptional Value. These designations are used to increase protection measures along designated watercourses.

- **Impaired Streams**

Impaired streams are sections of watercourses that do not meet the use designations in Chapter 93 for water quality standards. As of 2020, all streams in West Whiteland have been designated as impaired, with most impairments resulting from siltation from untreated stormwater runoff. In March 2022 the updated Pollution Reduction Plan (PRP) outlines steps the Township has proposed to take to address siltation issues for these impaired streams.

**A-5-C - Floodplains**

The Federal Emergency Management Agency defines a floodplain as an area subject to one percent or greater chance of flooding in any given year . Within the Township are approximately 807 acres (or 9.8 percent of the total area of the Township) are located within floodplain areas with a 1 percent flood event hazard; and 880 acres (or 10.6 percent of the total area of the Township) are located within floodplain areas with a 0.2 percent flood event hazard .

The 2021 Chester County Hazard Mitigation Plan noted the specific population and number of structures located within in the one and two percent flood areas. These areas are predominately located in the vicinity of Valley Creek (See Appendix F, Water Resources map).

| Location           | Population | Population % total | Buildings | Buildings % total |
|--------------------|------------|--------------------|-----------|-------------------|
| 1% flood area      | 347        | 1.9%               | 159       | 2.3%              |
| 2% flood area      | 391        | 2.1%               | 184       | 2.6%              |
| Outside flood area | 17,665     | 96.0%              | 6,679     | 95.1%             |

*Source: July 2021 Chester County Hazard Mitigation Plan*

West Whiteland a participant with the National Flood Insurance Program (NFIP). The NFIP enables property owners to purchase flood insurance. In return, communities agree to adopt and implement local floodplain management regulations that contribute to protecting lives and reducing the risk of new construction and substantial improvements from future flooding. In 2020, 72 separate NFIP policies were in place in the Township, with 82 claims made since 1978.

**A-5-D - Riparian Buffers**

Riparian areas are the lands adjacent to water bodies that serve as a transition between aquatic and terrestrial environments and directly affect or are affected by that body of water. A riparian area that consists of mature vegetation, preferably including forest cover, can create an effective buffer between upland land uses and the receiving water body, reducing the impact of upland sources of pollution. Forested riparian buffers can also serve to slow stormwater runoff, improving flood control.

In West Whiteland, riparian buffers areas (RBAs) are regulated under the Township Stormwater Management Ordinance (Chapter 270). RBAs are divided into three subareas that have variable levels of protection that include:

**Zone 1** – Minimum 25-feet from top of the streambank that prohibits disturbance of soils and vegetation, except for those as part of a restoration project.

**Zone 2** – 125-foot buffer extending outward from the Zone 1 boundary. Land disturbance in this zone is limited to selective logging and other activities that minimally disturb soils and vegetation.

**Zone 3** – All areas upslope of Zone 2, disturbed as part of a land development, and where direct discharge of stormwater occurs.

### **A-5-E - Wetlands**

The National Wetlands Inventory (NWI) identifies wetland areas based on aerial photography. There are approximately 126 acres of NWI wetlands in the Township. The largest area of wetlands is located along Valley Creek from the Township Building to the jurisdictional boundary at East Caln Township (approximately 72 acres).

### **A-5-F - Geology**

The characteristics of the soil in any given location are prime determinants of what that land is best suited for under what conditions. When these same soil characteristics are analyzed in conjunction with the related features of a site, an even more complete picture emerges of appropriate uses for development.

Just over 30 percent of the soils in West Whiteland are identified within the Urban Lands series as defined by the USDA. This is not unexpected given the amount of development throughout the Township. Conestoga silt loam soils are the second predominant type of soils present in the undeveloped areas of the Township and Exton Park.

Within West Whiteland, the Glenelg, Manor, Chester, Hagerstown, Conestoga, Edgemont, and Brandywine soils have no significant limitations for building sites. The Guthrie series consists of deep, poorly drained soils on limestone or calcareous schist. The Glenville series are on low-lying areas in the uplands and around stream headwaters. The water table is high in both of these soils during most of the year. The Lawrence series, though better drained than the Guthrie soils, are poorly drained. The Worsham soils are waterlogged most of the year. The Undside, Melvin, Congaree, and Wehadkee series are subject to flooding and unsuitable for development.

Hydric soils contain high amounts of moisture that allow anaerobic processes (those that occur in the absence of oxygen) to thrive within the soil. Hydric soils in the Township are primarily associated with Valley Creek and its tributaries.

The Township also includes significant areas of carbonate geology that can pose significant hazards to the built environment ranging from drainage issues to sinkhole formation. To mitigate negative effects of this geology, the zoning ordinance includes a Carbonate Area District overlay that regulates any proposed development in areas of the Township that is impacted by carbonate geology.

## A-5-G - Woodlands

Woodlands refer to larger continuous or contiguous stands of trees, typically on larger parcels of land. Woodlands provide vital habitat for native vegetation and wildlife. Additionally, woodlands provide protective ground cover and stability for soils on steep slopes and contribute to improve water quality.

As of 2024, the Township contains 1,645 acres of deciduous, 11 acres of evergreen, and 42 acres of mixed forests. Most of West Whiteland's woodland areas coincide with stream valleys, wetland areas, and protected open space and parks. The Township has regulations that discourage the amount of woodlands that may be disturbed by new development. Other regulations require compensatory planting for trees removed of a certain size as part of land development applications.

## A-5-H - Natural Diversity

Natural diversity is defined as the variety of plants and animals in a given habitat, or the variety of features found in a given population of one type of plant or animal. Within West Whiteland are two Natural Heritage Areas (NHA) as identified in the 2015 Chester County Natural Heritage Inventory. Located at the northeastern corner of the Township, these areas include:

**North Valley Hills** – This area provides habitat for southern red oak, a tree species of concern and supports a population of stagger-bush, a plant species of concern. This site is in the northeastern quadrant of the Township north of Old Valley Road and northwest of Church Farm Lane.

**Spring Valley Road Woods** – This forested portion of this NHA provides habitat for a small population of a sensitive species of concern, not named at the request of the jurisdictional agency overseeing its protection. This site is located at the extreme northeast corner of the Township north of Old Valley Road.

## A-5-I - Native and Invasive Species

Native or indigenous refers to vegetation that is currently or previously inhabited or grew in a specified location, and which was not introduced to that location because of human activity. Native species are adapted to environmental conditions of an area such as climate, soils, topography, winds, precipitation, wildlife, and other living organisms. The Township encourages the planting of native species as part of the land development process and specifies specific plants as part of a recommended plant species listing in the subdivision and land development ordinance.

Aside from the well understood threat of development and resulting loss of habitat, invasive species also threaten natural diversity. Invasive species are predominantly from non-native species that grow or reproduce aggressively, usually because they have few if any natural predators. Although there are native invasive species, their growth rate is considerably limited as the native wildlife has adapted to become a natural control mechanism. Across much of Chester County, including West Whiteland, woodlands and wetlands are being overrun by invasive species, both plant and insect.

Within woodlands, riparian areas, meadows, hedgerows, and along roadways, invasive plant species such as the Norway Maple, Multiflora Rose, Autumn Olive, Oriental Bittersweet, Japanese Honysuckle, and Japanese Knotweed are overrunning existing native species and becoming the dominant species. The Spotted Lanternfly and Emerald Ash Borer are two invasive insects that affect woodlands in the Township. Within wetlands, invasive species such as the Common Reed, Purple Loosestrife, and Reed Canary Grass can dominate the landscape, impairing the wildlife and filtration functions of the wetland.

### A-5-J - Certifications and Initiatives

As part of on-going efforts to advance natural resource preservation and sustainability goals, the Township has received several certifications in these areas. These certifications include:

- **Sustainable Pennsylvania** – In 2024, the Township achieved “Gold” certification from Sustainable Pennsylvania, a free and voluntary municipal certification program created to assess a local government’s measure of sustainability and provide a curated list of resources and opportunities to help the community improve. The program helps municipalities achieve sustainability goals, empowering them to save money, conserve resources, and innovate to improve the lives of their residents. It encourages the municipality to work towards creating a positive and regenerative relationship with the environment. It brings statewide and national recognition to the municipality as sustainability is embedded in operational policy, everyday practices, and the community.
- **Bird Town** – In 2025, The Township became the 83rd municipality in Pennsylvania to receive the “Bird Town” designation from the Audubon Council and Bird Town Pennsylvania. This status allows the Township to partner with the PA Audubon Council to promote conservation efforts for a healthier environment for birds, wildlife, and residents. The Township has formed an ad-hoc Bird Town Committee of five volunteers with diverse expertise. The Committee will manage projects, host events, and educate the community on enhancing environmental health for all.
- **Tree City USA** – The Township’s commitment to preservation and protection is evident in its tree protection and compensatory planting policy and Gold Certification from Sustainable PA. The Township observes Arbor Day and participates in the Tree City USA Program which certifies and tracks local natural environmental policy. This program will open funding opportunities to improve the management of natural resources including: opportunities for park (re)development, green stormwater infrastructure, native plantings, tree giveaways and more.



*The Chester Valley Trail is part of The Circuit and provides safe bicycle and pedestrian access from the Township to Greater Philadelphia.*

## **A-6 - Parks, Recreation, and Open Space**

West Whiteland Township has 10 municipally owned and operated park sites. The Township Open Space, Recreation, and Environmental Resources Plan (1992), last updated in 1997, provides detailed information on parks, recreation, and open space within the Township.

### **A-6-A - Public Parks**

Public parks are owned and maintained by governments to provide recreation opportunities to the general public. The governmental body may impose access limitations that are related to the health, safety, and welfare of the public, such as closing the park at dusk or requiring permits for large group activities. (See Appendix F, Community Facilities map for locations of Township parks). Parks operated by the Township include:

- **Albert C. Miller Park** – This community park is located at 220 Miller Way and consists of 20.6 acres. Miller Park features a gazebo, playgrounds, a basketball court, tennis courts, a multi-purpose field, and picnic pavilion.
- **Banbury Park** – This neighborhood park is located at 1400 Old Pottstown Pike and consists of 2.0 acres. Banbury Park features a playground, basketball court, and picnic pavilion.
- **Boot Road Park** – This community park is located at 110 West Boot Road and consists of 28.1 acres. Boot Road Park features an indoor event space, playgrounds, baseball/softball fields, facilities to view wildlife, perimeter trail, and picnic pavilion.
- **Burke Road Park** – This passive neighborhood park is located at 1500 Burke Road and consists of 23.9 acres. Burke Road Park features picnic pavilion and trails.

- **Exton Park** – This park is owned by the Township and Chester County separately, but seamlessly adjoining one another, with the Township owning more active recreation areas of the park with the Swedesford Recreation Area located at 620 E. Sewedesford Rd. and the Multi-use Field Area located at 200 Church Farm Lane. The entire park consists of 727 acres and features playgrounds, trails, multi-use fields, two cricket pitches, a dog park, and picnic areas.
- **Joseph Catov, Jr. Park** – This community park is located at 71 West Boot Road and consists of 27.0 acres. Constructed in partnership with the Exton Little League, Catov Park features baseball/softball fields in addition to playgrounds, trails, and a picnic pavilion.
- **Joseph P. Roscioli Park** – This community park is located at 1425 Ship Road and consists of 28.0 acres (14.2 owned by the Township and 13.8 acres leased from PECO). Roscioli Park features Little League fields in addition to a playground, trails, and a picnic area.
- **Mill Valley Park** – This neighborhood park is located at 1313 Amstel Way and consists of 3.0 acres. Mill Valley Park is a passive recreation facility with a small pond and limited seating areas.
- **Sunset Grove Park** – This neighborhood park is located at 1245 Samuel Road and consists of 1.3 acres. Sunset Grove Park features a playground and a picnic pavilion.
- **Waltz Park** – This community park is located at 50 Waterwillow Road and consists of 5.7 acres. Waltz Park features Little League fields and a picnic area.

## A-6-B - Publicly or Privately Owned - Limited-Public Access

Limited-Public Access recreation facilities are generally owned and maintained by schools and other institutions. They are commonly used by the public for informal recreation, but the facility owner maintains the option to limit or ban public use. These facilities also include fields that provide playing and practice areas for organized leagues.

- **Meadowbrook Manor Park** – This neighborhood park is located at 410 East Swedesford Road and consists of 5.1 acres. Meadowbrook Manor Park features baseball/softball fields.

## A-6-C - Privately Owned - Private Public Access

Private parks and recreational facilities are privately owned properties such as recreation centers, golf courses, arboretums, and internal trail/sidewalk systems. Public access is usually granted by permission of the owner and may be limited to paying members. Many such areas are open spaces and recreational areas owned by homeowners' associations, but the Whitford Country Club is the largest area of this kind in the Township.

## **A-6-D - Trails and Bicycle Networks**

A robust trail and bicycle network is an important component for the well-rounded, high quality of life expected in West Whiteland. Most of the trails within the Township consist of asphalt multi-use trails with some made of boardwalk, gravel and grass. To advance this effort, the Township adopted a formal Bicycle and Pedestrian Plan in 2019. Ultimately the Township seeks to establish a safe and accessible pedestrian and bike network throughout the Township, specifically to create additional access to the Exton Crossroads. Existing facilities in the Township include:

**Regional Trails (3.2 miles)** – Regional trails in the Township provide transportation and recreation options for pedestrians and cyclists. Regional trails within the Township consist of the Chester Valley Trail (CVT), Uwchlan Trail, and the proposed extensions of the CVT to the Oaklands Corporate Center and westward along the inactive Philadelphia and Thorndale (P+T) line.

**The CVT (2.8 miles)** •The CVT (2.8 miles) runs east-west through the central portion of the Township along a former railroad right-of-way. At the time of writing, the CVT terminates in the Township along Commerce Drive, west of Main Street at Exton. Future extensions of the CVT will provide a connection to the Oaklands Corporate Center on one branch and westward to Downingtown and ultimately Lancaster County’s Enola Low Grade Trail as part of the CVT West extension. Within West Whiteland, the CVT provides connections to numerous recreational, commercial, and residential areas in the eastern portion of the Township.

**The Uwchlan Trail (0.4 miles)** - enters along Ship Road from the Uwchlan Township border currently terminating at Old Valley Road. There are plans to extend this trail to Exton Park to connect to the CVT.

**Local Trails (14.7 miles)** – These trails are mostly located in Township parks, including Exton Park, and larger residential developments HOA’s.

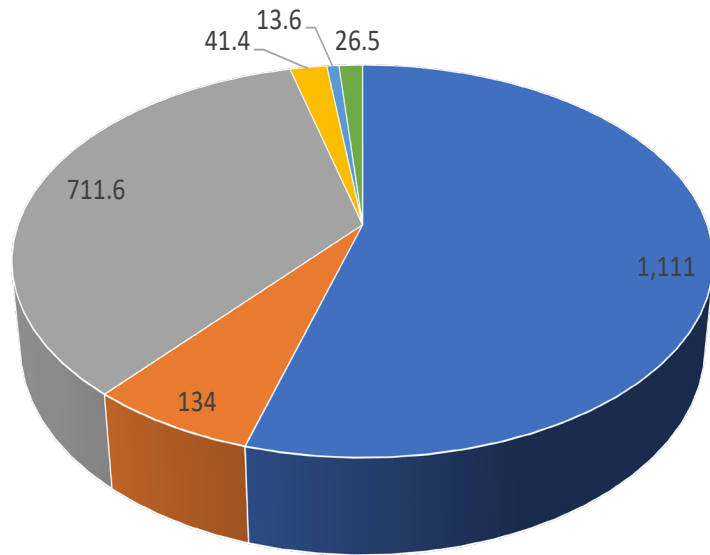
**Sidewalks (60.6 miles)** – Sidewalks can be found in portions of the Exton Crossroads and scattered within the more recently developed residential neighborhoods throughout the Township. The overall network is becoming more comprehensive with connections like the one between Main Street at Exton with the Exton train station being constructed. Sidewalks are required as part of any land development application proposed in the Township. In situations where the placement of sidewalk is not feasible, the Township established a sidewalk fund (fee-in-lieu). Projects that cannot place a sidewalk can contribute the cost of a sidewalk to the fund. The fund is then used to maintain established sidewalks in the Township.

### A-6-E - Open Space

For the purposes of this Plan, open space is categorized as protected or unprotected. In Linking Landscapes, protected open space is defined as: Land and water areas that have little or no development; are used for recreation or preserving cultural or natural resources, including agricultural soils; and are protected either permanently or on a long-term basis. This definition focuses on how well the land is protected from development, usually by a non-profit land trust or by a municipality or other government. If there is no formal written agreement stating that a parcel of land is protected open space, the parcel should be regarded as unprotected. Unprotected open space is any undeveloped land that is not protected from development and can include private golf courses or municipally owned land that is not designated as a park or public recreation facility.

2,000 acres of protected OS which is 24.7% of the total land area of the community.

Preserved Open Space by Type (acreage)



■ HOA open space ■ Township parks (excluding Exton Park) ■ Exton Park ■ Other Township open space ■ Natural Lands owned ■ Existing CVT



*Built circa 1820, the Massey House located along Lincoln Highway is an example of one of the many historic resources found throughout the Township.*

## **A-7 - Historic Resources**

Historic preservation activities in West Whiteland are supported by the West Whiteland Township Historical Commission. The Historical Commission was established specifically to:

- Maintain an updated list and map which clearly identifies historic buildings, sites, structures, objects, and districts and make recommendations for updates and/or corrections to this list and map.
- Advise Township staff, the Board of Supervisors, and other appointed boards and commissions on a variety of processes impacting historic resources, including: applications for building and demolition permits, subdivision and land development, conditional use, variance, and special exception.
- Document ongoing changes to the physical landscape throughout the Township.
- Conduct research on and nominate significant resources to the National Register of Historic Places.

Township zoning encourages the preservation of historic resources through Article XVI Historic Preservation. Historic resources are all buildings, sites, structures, objects and districts shown on the Historic Resources Map. Specific sections of this article encourage the preservation or adaptive reuse of historic structures by permitting additional uses and modification of standards.

Significant efforts have been undertaken to identify historic resources and help preserve the local heritage and character of West Whiteland Township. The Chester County Historic Sites Survey (1979-82) identified numerous historic buildings or groups of buildings in West Whiteland. The County survey is considered a “preliminary” or “reconnaissance” survey, focusing on a listing of sites, primarily residential, and providing general information such as location and owner.

West Whiteland completed a full update Historic Resources Map and Listing in 2022. This update resulted in the identification of over 160 separate resources and completion of a formal inventory of each inclusive of a short history and photos.



# Appendix B: Demographic Profile

## **Demographic Profile**

### **B-1 Introduction**

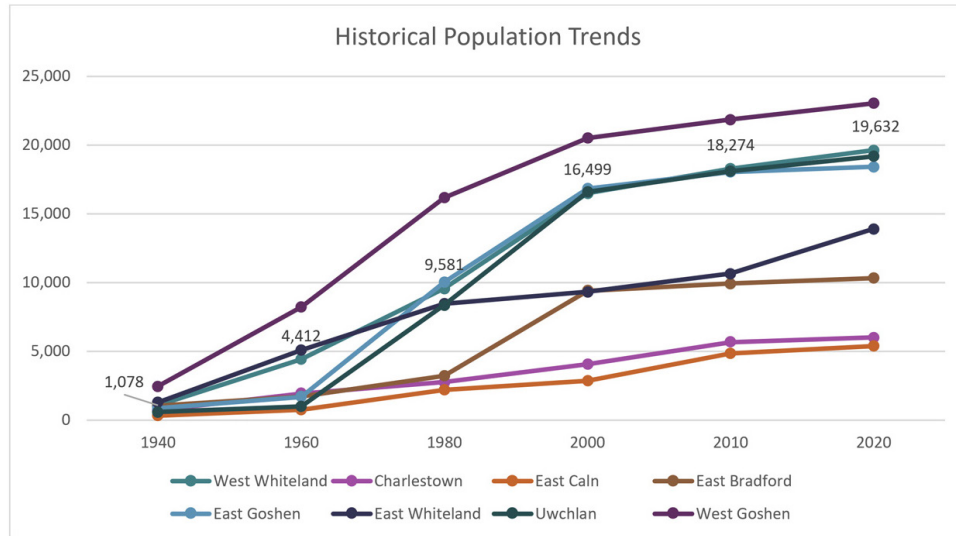
Understanding the demographic characteristics of West Whiteland Township, from simple population counts to population forecasts, as well as other data such as income, age, and education, provides context for future Township actions and policies as well as what services and facilities are needed now and in the future. Data is primarily derived from the U.S. Census, both the decennial census (which provides counts every ten years) and the American Community Survey, or ACS (which collects data and provides estimates on an annual basis, averaged over five years). It should be noted at the time of adoption, the data provided is meant to provide for a general snapshot based on the 2020 Census and 2025 American Community Survey data.

### **B-2 Population**

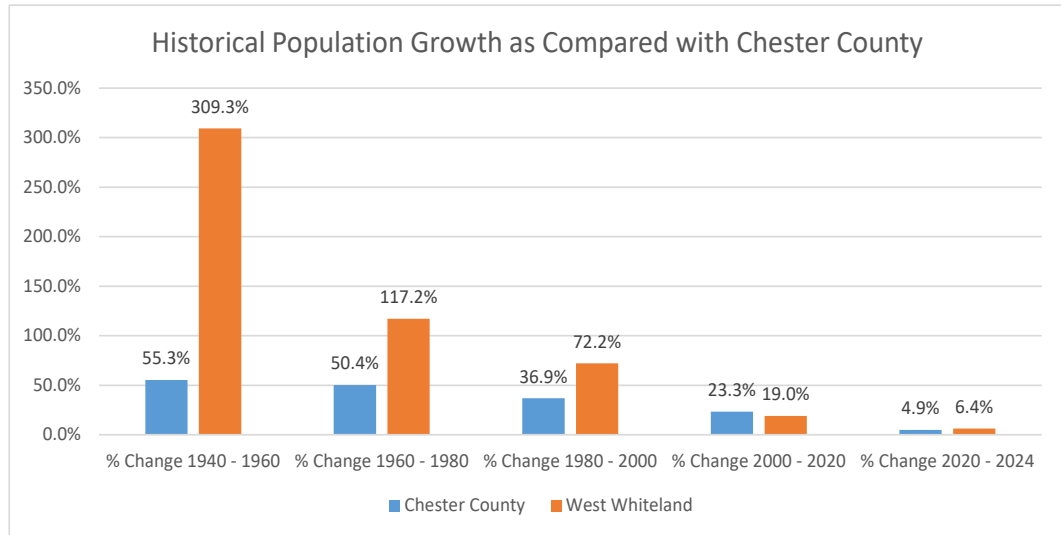
Between 1940 and 1960 West Whiteland's population grew by over 300 percent, with 3,334 residents moving into the Township during the initial wave of post-World War II suburbanization. This significant growth would continue through 1980 with a 117 percent increase, and again through 2000 with a 72 percent increase to 16,499 residents. As the Township became increasingly more developed in the 2000s, the population only increased by 19 percent to 19,632 by 2020.

Between 2000-2020, the Township grew nearly 19 percent. This rate is less than the County as a whole at 23 percent as well as the rate for Charlestown, East Whiteland, and East Caln which saw significant residential developments during this period.

It is anticipated West Whiteland will continue to see growth, but in more limited geographies given the existing development patterns of the Township. Continued redevelopment of the Exton Crossroads and the eastern areas of Lancaster Avenue are expected to include multi-family facilities and other residential development that will continue to bring new residents into the Township.



Sources: US Census, Decennial, 1940 to 2020.



US Census, Decennial 1940 to 2020; July 1, 2024 Population Estimates.

### B-3 Population Forecasts

In 2024, the Delaware Valley Regional Planning Commission (DVRPC) developed their most recent population forecasts for the Philadelphia region. They forecast 29.9 percent growth for West Whiteland Township and 18.6 percent growth for Chester County from 2020 through 2050. The 2020-2050 forecast for West Whiteland is the highest of its neighboring municipalities. This significant growth forecast can generally be attributed to anticipation of higher-density residential redevelopment, supported by the extensive public infrastructure available in the Township.

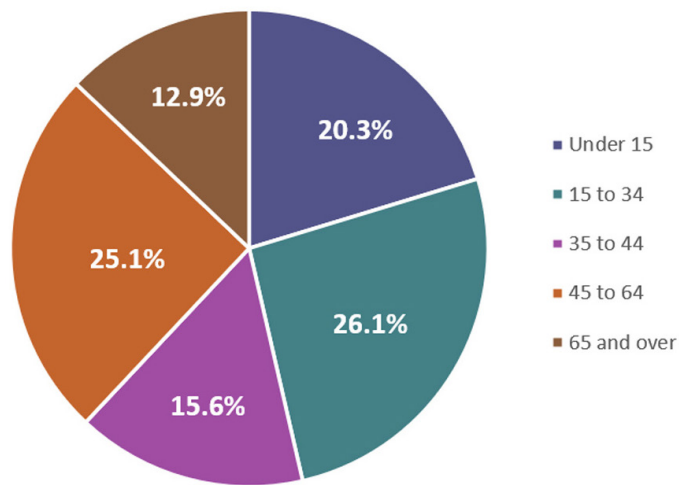
| Municipality          | 2020           | 2025 Forecast  | 2030 Forecast  | 2040 Forecast  | 2050 Forecast  | % Change 2020-2050 |
|-----------------------|----------------|----------------|----------------|----------------|----------------|--------------------|
| <b>Chester County</b> | <b>534,413</b> | <b>564,295</b> | <b>585,262</b> | <b>615,749</b> | <b>634,011</b> | <b>18.6%</b>       |
| West Whiteland        | 19,632         | 22,824         | 24,373         | 25,043         | 25,494         | 29.9%              |
| Charlestown           | 6,001          | 6,048          | 6,310          | 6,972          | 7,468          | 24.4%              |
| East Caln             | 5,384          | 6,042          | 6,474          | 6,478          | 6,484          | 20.4%              |
| East Bradford         | 10,339         | 10,693         | 10,836         | 11,323         | 11,623         | 12.4%              |
| East Goshen           | 18,410         | 18,435         | 19,032         | 19,276         | 19,550         | 6.2%               |
| East Whiteland        | 13,917         | 16,334         | 16,764         | 16,896         | 16,994         | 22.1%              |
| Uwchlan               | 19,161         | 19,510         | 20,329         | 21,379         | 22,047         | 15.1%              |
| West Goshen           | 23,040         | 24,788         | 25,185         | 25,770         | 26,097         | 13.3%              |

Sources: US Census, Decennial, 2020; DVRPC Population & Employment Forecasts (2024) (<https://www.dvrpc.org/webmaps/popempforecasts/>).

### B-4 Age

The US Census Bureau’s American Community Survey (ACS) data for West Whiteland noted a median age of 36.5 years old by 2023, with just under 25 percent of residents 19 years of age or younger. In comparison, the median age for Chester County was 40.6 years of age. The largest age cohort for the Township was ages 30-34 and the second largest was ages 35-39. The overall trends illustrate a population slightly younger than that as the County as a whole.

West Whiteland Population by Age Group



| Age Group           | West Whiteland<br>2006-2010 ACS | West Whiteland<br>2019-2023 ACS | Chester County<br>2006-2010 ACS | Chester County<br>2019-2023 ACS |
|---------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| Median age (years)  | 38.3                            | 36.5                            | 38.8                            | 40.6                            |
| Total population    | 18,074                          | 19,951                          | 490,571                         | 549,784                         |
| Youth 19 and under  | 24.7%                           | 26.6%                           | 28.0%                           | 24.8%                           |
| Prime working 25-54 | 47.0%                           | 45.4%                           | 41.9%                           | 37.3%                           |
| Seniors 65 and over | 10.2%                           | 12.9%                           | 12.4%                           | 18.4%                           |
| Under 5 years       | 7.5%                            | 7.7%                            | 6.4%                            | 5.3%                            |
| 5 to 9 years        | 6.6%                            | 5.9%                            | 7.2%                            | 5.5%                            |
| 10 to 14 years      | 6.5%                            | 6.7%                            | 7.0%                            | 6.7%                            |
| 15 to 19 years      | 4.1%                            | 6.2%                            | 7.4%                            | 7.2%                            |
| 20 to 24 years      | 5.1%                            | 4.3%                            | 5.9%                            | 6.0%                            |
| 25 to 29 years      | 7.0%                            | 6.8%                            | 5.4%                            | 5.4%                            |
| 30 to 34 years      | 7.7%                            | 8.8%                            | 5.6%                            | 5.7%                            |
| 35 to 39 years      | 9.0%                            | 8.5%                            | 6.9%                            | 7.3%                            |
| 40 to 44 years      | 9.7%                            | 7.1%                            | 7.8%                            | 6.2%                            |
| 45 to 49 years      | 7.7%                            | 6.9%                            | 8.4%                            | 6.2%                            |
| 50 to 54 years      | 5.9%                            | 7.3%                            | 7.8%                            | 6.5%                            |
| 55 to 59 years      | 7.5%                            | 5.1%                            | 6.8%                            | 7.3%                            |
| 60 to 64 years      | 5.5%                            | 5.8%                            | 4.9%                            | 6.2%                            |
| 65 to 69 years      | 3.5%                            | 3.9%                            | 3.7%                            | 5.9%                            |
| 70 to 74 years      | 2.3%                            | 3.7%                            | 2.7%                            | 4.8%                            |
| 75 to 79 years      | 2.4%                            | 3.3%                            | 2.4%                            | 3.1%                            |
| 80 to 84 years      | 1.8%                            | 0.9%                            | 1.9%                            | 2.5%                            |
| 85 years and over   | 0.2%                            | 1.1%                            | 1.7%                            | 2.1%                            |

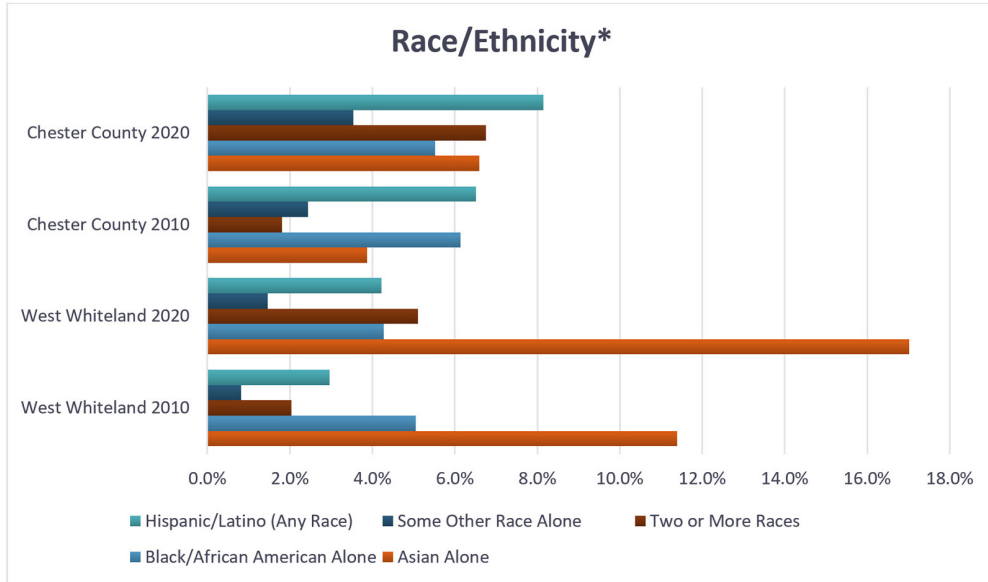
Source: US Census, ACS 2006-2010 and 2019-2023 (Table S0101).

## B-5 Race, Ethnicity, and Equity

As reflected in decennial Census data, when compared to Chester County as a whole, West Whiteland is a more diverse community with respect to race and ethnicity. The Township saw gains in all race/ethnicity categories, except for African American alone which saw a slight decline. Further, the white alone population saw a decline from 81 to 72 percent from 2010 to 2020. Most of note is that 17 percent of the Township’s residents identify as Asian alone as compared to only 6.6 percent for the County as a whole.

The diversity of the Township is further reflected in the significant number foreign born residents calling West Whiteland home. The Township has a growing foreign-born community comprising 13.9 percent of the total population which is higher than the Countywide percentage of 9.5 percent.

| Race/Ethnicity               | West Whiteland<br>2010 | West Whiteland<br>2020 | Chester County<br>2010 | Chester County<br>2020 |
|------------------------------|------------------------|------------------------|------------------------|------------------------|
| Total Population             | 18,274                 | 19,632                 | 498,886                | 534,413                |
| Asian Alone                  | 11.4%                  | 17.0%                  | 3.9%                   | 6.6%                   |
| Black/African American Alone | 5.1%                   | 4.3%                   | 6.1%                   | 5.5%                   |
| White Alone                  | 80.5%                  | 71.6%                  | 85.5%                  | 77.3%                  |
| Two or More Races            | 2.0%                   | 5.1%                   | 1.8%                   | 6.7%                   |
| Some Other Race Alone        | 0.8%                   | 1.5%                   | 2.4%                   | 3.5%                   |
| Hispanic/Latino (Any Race)   | 3.0%                   | 4.2%                   | 6.5%                   | 8.1%                   |



\*Chart excludes population identified as "White Alone"  
 Sources: US Census, Decennial, 2010 and 2020 (Tables P8 and P9).

| Race/Ethnicity                               | West Whiteland 2006-2010 ACS | West Whiteland 2019-2023 ACS | Chester County 2006-2010 ACS | Chester County 2019-2023 ACS |
|--|------------------------------|------------------------------|------------------------------|------------------------------|
| Total Foreign-Born Population                | 2,406                        | 2,781                        | 40,791                       | 52,191                       |
| Total Foreign-Born % of Population           | 13.31%                       | 13.94%                       | 8.32%                        | 9.65%                        |
| <b>World Region of Birth of Foreign Born</b> |                              |                              |                              |                              |
| Europe                                       | 19.91%                       | 11.51%                       | 20.85%                       | 16.10%                       |
| Asia   | 69.41%                       | 65.77%                       | 34.03%                       | 48.23%                       |
| Africa                                       | 0.00%                        | 5.47%                        | 3.25%                        | 4.47%                        |
| Oceania                                      | 0.00%                        | 0.00%                        | 0.55%                        | 0.51%                        |
| Latin America                                | 6.53%                        | 16.58%                       | 37.43%                       | 27.81%                       |
| Northern America                             | 4.16%                        | 0.68%                        | 3.89%                        | 2.88%                        |

Sources: US Census, ACS 2006-2010 and 2019-2023 (Table DP02).

## B-6 Income

The median household income for residents of West Whiteland Township in 2023 was \$132,077, which was 8.5 percent higher than the Chester County median of \$120,903. Between 2012 and 2023, when adjusted for inflation, the Township median grew at a rate slightly less than that of the County rate of 8.1 percent at 7.0 percent. These income levels in part reflect the high levels of education the residents have, and the significant growth experienced in the greater Exton area since 2000.

A high median income level does not fully reflect the economic status of all residents. From 2012 to 2023, West Whiteland has seen a slight decline from 4.4 to 3.9 percent of the population living below the poverty level. When this is expanded to those residents at 200 percent of the poverty level, the Township has seen an increase from 9.5 to 10.1 percent.

Median Household Income

| County/Municipality   | 2008-2012 ACS   | 2019-2023 ACS    | % Change in Real Dollars | 2012 MHI adjusted for 2023 inflation* | % Change After Inflation |
|-----------------------|-----------------|------------------|--------------------------|---------------------------------------|--------------------------|
| <b>Chester County</b> | <b>\$84,741</b> | <b>\$120,903</b> | <b>42.67%</b>            | <b>\$111,848</b>                      | <b>8.1%</b>              |
| West Whiteland        | \$93,542        | \$132,077        | 41.2%                    | \$123,464                             | 7.0%                     |
| Charlestown           | \$136,071       | \$199,417        | 46.6%                    | \$179,597                             | 11.0%                    |
| East Caln             | \$91,939        | \$97,772         | 6.3%                     | \$121,348                             | -19.4%                   |
| East Bradford         | \$123,077       | \$159,347        | 29.5%                    | \$162,447                             | -1.9%                    |
| East Goshen           | \$73,266        | \$105,481        | 44.0%                    | \$96,702                              | 9.1%                     |
| East Whiteland        | \$88,277        | \$145,972        | 65.4%                    | \$116,515                             | 25.3%                    |
| Uwchlan               | \$103,617       | \$132,998        | 28.4%                    | \$136,762                             | -2.8%                    |
| West Goshen           | \$89,233        | \$125,256        | 40.4%                    | \$117,777                             | 6.4%                     |

Sources: US Census, ACS 2008-2012 and 2019-2023 (Table S1901).

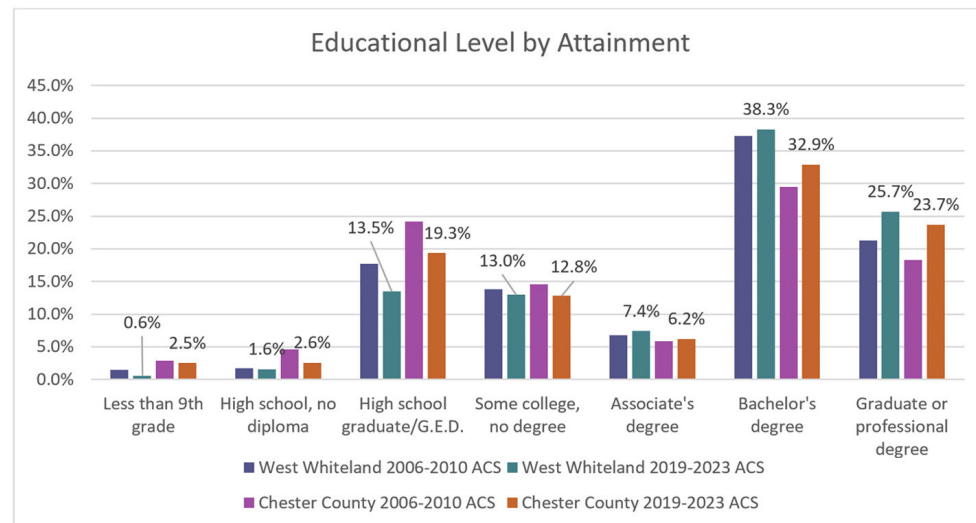
\*Income from 2012 was adjusted for inflation to 2023 utilizing the U.S. Bureau of Labor Statistics inflation calculator

Poverty Status

| Municipality          | 2008-2012 ACS % Below Poverty Level | 2008-2012 ACS Population at 200% of Poverty Level | 2019-2023 ACS % Below Poverty Level | 2019-2023 ACS Population at 200% of Poverty Level |
|-----------------------|-------------------------------------|---|-------------------------------------|---|
| <b>Chester County</b> | 6.5%                                | 16.1%   | 5.9%                                | 14.5%   |
| West Whiteland        | 4.4%                                | 9.5%  | 3.9%                                | 10.1%   |
| Charlestown           | 1.4%                                | 4.9%  | 3.5%                                | 7.0%  |
| East Caln             | 4.4%                                | 14.8%   | 1.7%                                | 5.5%  |
| East Bradford         | 4.3%                                | 11.4%   | 5.3%                                | 9.3%  |
| East Goshen           | 3.8%                                | 13.0%   | 6.0%                                | 11.1%   |
| East Whiteland        | 6.8%                                | 14.6%   | 3.9%                                | 9.2%  |
| Uwchlan               | 2.6%                                | 7.1%  | 2.1%                                | 7.3%  |
| West Goshen           | 7.5%                                | 15.5%   | 5.7%                                | 14.1%   |

B-7 Education

The educational attainment of West Whiteland residents is high and has increased in recent years. Residents having received a bachelor’s or graduate degree exceed those of the County as a whole, although the County has also seen increases in education levels in recent years. The most significant change in from 2010 to 2022 was the increase in residents with a graduate or professional degree from 21.3 to 25.7 percent.



## B-8 Employment

Employment data provides an overview of occupation – or type of work – in addition to industry - the types of businesses in which residents are employed. The highest percentage of West Whiteland residents have occupations under the category of management, business, science, and arts at just under 68 percent of those employed. Between 2010 and 2023, there was just over a 12 percent decline for residents employed in sales and office occupations. Higher employment levels in the management category reflects the higher levels of education attained by Township residents.

### Employment of Residents by Occupation\*

| Industry Characteristics                                     | West Whiteland<br>2006-2010 ACS | West Whiteland<br>2019-2023 ACS | Chester County<br>2006-2010 ACS | Chester County<br>2019-2023 ACS |
|--|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| Management, business, science, and arts occupations          | 55.2%                           | 67.5%                           | 47.3%                           | 58.0%                           |
| Service occupations  | 9.5%                            | 10.4%                           | 12.5%                           | 11.8%                           |
| Sales and office occupations                                 | 25.5%                           | 12.8%                           | 24.9%                           | 16.9%                           |
| Natural resources, construction, and maintenance occupations | 4.1%                            | 4.7%                            | 7.7%                            | 5.6%                            |
| Production, transportation, and material moving occupations  | 5.7%                            | 4.6%                            | 7.6%                            | 7.7%                            |

Sources: US Census, ACS 2006-2010 and 2019-2023 (Table S2401).  
\*Percentage of population 16 years of age and over

### Employment of Residents by Industry\*

| Industry Characteristics   | West Whiteland<br>2006-2010 ACS | West Whiteland<br>2019-2023 ACS | Chester County<br>2006-2010 ACS | Chester County<br>2019-2023 ACS |
|--|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| Agriculture, forestry, fishing and hunting, and mining                                     | 0.0%                            | 0.2%                            | 1.9%                            | 1.7%                            |
| Construction   | 3.4%                            | 5.1%                            | 5.7%                            | 5.0%                            |
| Manufacturing  | 11.9%                           | 7.0%                            | 12.6%                           | 10.3%                           |
| Wholesale trade  | 4.0%                            | 3.0%                            | 3.4%                            | 2.9%                            |
| Retail trade   | 11.2%                           | 8.9%                            | 11.0%                           | 9.7%                            |
| Transportation and warehousing, and utilities  | 4.2%                            | 3.6%                            | 3.8%                            | 3.7%                            |
| Information  | 2.9%                            | 3.1%                            | 2.2%                            | 2.0%                            |
| Finance and insurance, and real estate and rental and leasing                              | 12.2%                           | 14.0%                           | 10.0%                           | 10.9%                           |
| Professional, scientific, and management, and administrative and waste management services | 18.6%                           | 20.9%                           | 14.9%                           | 17.4%                           |
| Educational services and health care and social assistance                                 | 20.4%                           | 22.6%                           | 21.3%                           | 23.2%                           |
| Arts, entertainment and recreation, and accommodation and food services                    | 5.3%                            | 5.1%                            | 6.7%                            | 6.6%                            |
| Other services, except public administration   | 4.2%                            | 4.0%                            | 4.3%                            | 4.0%                            |
| Public administration  | 1.8%                            | 2.3%                            | 2.1%                            | 2.6%                            |

Sources: US Census, ACS 2006-2010 and 2019-2023 (Table DP03).  
\*Percentage of population 16 years of age and over

As of 2020, the DVRPC estimated 19,900 jobs located within the Township. Through 2050, DVRPC estimates a 17.7 percent gain in jobs to 23,416. When compared with neighboring municipalities with significant employment bases, West Whiteland is only exceeded by East Whiteland and East Goshen with an estimated 18.1 and 17.9 percent gain in employment respectively.

| Municipality          | 2020           | 2025 Forecast  | 2030 Forecast  | 2040 Forecast  | 2050 Forecast  | % Change 2020-2050 |
|-----------------------|----------------|----------------|----------------|----------------|----------------|--------------------|
| <b>Chester County</b> | <b>342,950</b> | <b>394,676</b> | <b>389,955</b> | <b>390,171</b> | <b>390,190</b> | <b>12.1%</b>       |
| West Whiteland        | 19,900         | 26,623         | 26,162         | 25,884         | 23,416         | 17.7%              |
| Charlestown           | 3,277          | 3,594          | 3,560          | 3,567          | 3,669          | 12.0%              |
| East Caln             | 3,932          | 4,642          | 4,564          | 4,487          | 4,097          | 4.2%               |
| East Bradford         | 4,524          | 4,948          | 4,887          | 4,863          | 4,808          | 6.3%               |
| East Goshen           | 7,836          | 8,921          | 8,757          | 8,836          | 9,237          | 17.9%              |
| East Whiteland        | 23,806         | 30,556         | 30,184         | 30,367         | 28,122         | 18.1%              |
| Uwchlan               | 16,800         | 18,418         | 18,124         | 17,905         | 17,576         | 4.6%               |
| West Goshen           | 42,549         | 47,318         | 46,817         | 46,542         | 47,533         | 11.7%              |

Source: DVRPC Population & Employment Forecasts (2024)

The prime working age population in the U.S. is defined as ages 25-54. Working age population is a consideration with respect to local business and the tax base as those residents employed pay earned income tax directly back to the Township. In 2023, the prime working age population of West Whiteland was 45.4 percent of the population, with Chester County’s population just over eight percent lower at 37.3.

**Prime Working Age Population**

| Age Group           | West Whiteland 2006-2010 ACS | West Whiteland 2019-2023 ACS | Chester County 2006-2010 ACS | Chester County 2013-2023 ACS |
|---------------------|------------------------------|------------------------------|------------------------------|------------------------------|
| Total population    | 18,074                       | 19,951                       | 490,571                      | 549,784                      |
| Prime working 25-54 | 47.0%                        | 45.4%                        | 41.9%                        | 37.3%                        |

Source: US Census, ACS 2006-2010 and 2019-2023 (Table S0101).

A major shift in commuting patterns has emerged in the Township because of the emergence of widespread remote working in the wake of the COVID-19 pandemic. In 2010, only 4.3 percent of all employed residents worked from home, but by 2022 the share of residents working from home increased to 24.5 percent. This is further reflected in decreases in all other commuting modes, with the most significant being a 16 percent decrease in residents commuting alone.

**Commute Mode**

| Mode of commute                     | West Whiteland<br>2006-2010 ACS | West Whiteland<br>2019-2023 ACS | Chester County<br>2006-2010 ACS | Chester County<br>2019-2023 ACS |
|-------------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| Car, truck, van (drove alone)       | 84.1%                           | 64.8%                           | 81.3%                           | 64.7%                           |
| Car, truck, van (carpooled)         | 5.9%                            | 4.8%                            | 7.5%                            | 8.6%                            |
| Public transportation               | 4.2%                            | 2.0%                            | 2.7%                            | 1.7%                            |
| Walked                              | 0.2%                            | 0.7%                            | 2.2%                            | 1.9%                            |
| Bicycle                             | 0.1%                            | 0.0%                            | 0.2%                            | 0.0%                            |
| Taxicab, motorcycle, or other means | 1.1%                            | 0.4%                            | 0.9%                            | 1.7%                            |
| Worked from home                    | 4.3%                            | 27.4%                           | 5.3%                            | 21.3%                           |

Source: US Census, ACS 2008-2012 and 2019-2023 (Table S0801).

**B-9 Housing**

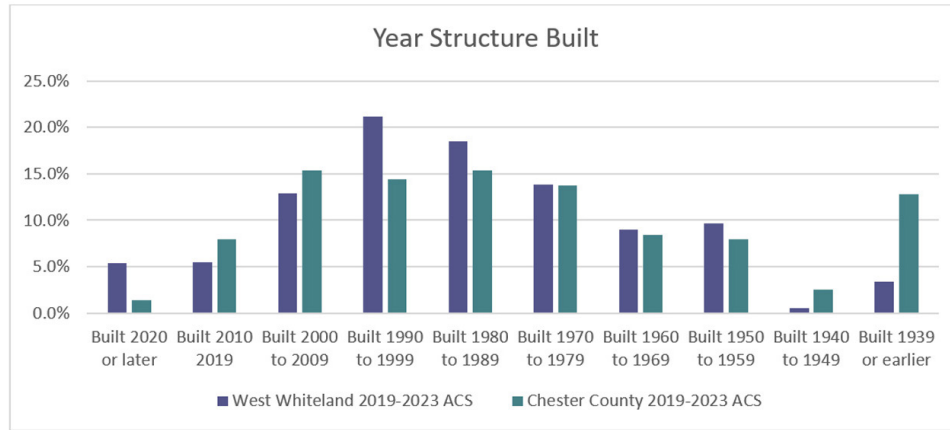
Census estimates state 8,207 total housing units are located in the Township, providing numerous of housing options. In 2023, the dominant form of housing Countywide was single-family detached, consisting of just over 60 percent of all units. For West Whiteland, this percentage was significantly lower with 42.8 percent of total units in the Township classified as detached. The percentage of units classified as one-unit attached (townhouses) was 30.1 and for multifamily units greater than 5 units was 21.9 percent. Notably the share of multifamily developments with greater than 20 units increased from 1.8 to 11 percent from 2010 to 2023, and this percentage is anticipated to continue increasing based on recent (re)development in the Township.

**Housing Units**

| Housing Unit Characteristics | West Whiteland<br>2006-2010 ACS | West Whiteland<br>2019-2023 ACS | Chester County<br>2006-2010 ACS | Chester County<br>2019-2023 ACS |
|------------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| Occupied housing units       | 96.3%                           | 92.6%                           | 95.7%                           | 96.0%                           |
| Vacant housing units         | 3.7%                            | 7.4%                            | 4.3%                            | 4.0%                            |
| 1-unit, detached             | 46.6%                           | 42.8%                           | 61.7%                           | 60.4%                           |
| 1-unit, attached             | 27.8%                           | 30.1%                           | 17.1%                           | 19.1%                           |
| 2 units                      | 1.7%                            | 0.8%                            | 1.9%                            | 1.7%                            |
| 3 or 4 units                 | 3.6%                            | 3.4%                            | 3.1%                            | 2.5%                            |
| 5 to 9 units                 | 6.9%                            | 3.9%                            | 3.9%                            | 3.4%                            |
| 10 to 19 units               | 11.5%                           | 7.0%                            | 4.2%                            | 3.9%                            |
| 20 or more units             | 1.8%                            | 11.0%                           | 5.3%                            | 6.8%                            |
| Mobile home                  | 0.0%                            | 1.0%                            | 2.7%                            | 2.1%                            |
| Boat, RV, van, etc.          | 0.0%                            | 0.0%                            | 0.02%                           | 0.03%                           |

Sources: US Census, ACS 2006-2010 and 2019-2023 (Table DP04).

**Year Structure Built**



Source: US Census, ACS 2019-2023 (Table DP04).

The Township’s housing stock is generally representative of the County as a whole. 23.8 percent of the Township’s total (24.7 percent Countywide) has been constructed since 2000, and 77.3 percent (68.3 percent Countywide) has been constructed since 1970. This more contemporary housing supply results in more modern amenities as well as fewer nonconformities for housing throughout the Township.

**Housing Sales**

| Year | West Whiteland Number of Sales | Percentage of Total Chester Co. Sales | West Whiteland Median Sales Price | West Whiteland Median Sales Price (Inflation Adjusted) | Chester Co. Median Sales Price | Chester Co. Median Sales Price (Inflation Adjusted) |
|------|--------------------------------|---------------------------------------|-----------------------------------|--|--------------------------------|---|
| 1990 | 260                            | 5.09%                                 | \$141,000                         | \$341,341  | \$149,000                      | \$360,707   |
| 1995 | 321                            | 5.63%                                 | \$140,000                         | \$287,281  | \$155,000                      | \$318,061   |
| 2000 | 432                            | 4.67%                                 | \$173,450                         | \$316,913  | \$188,000                      | \$343,498   |
| 2005 | 388                            | 4.16%                                 | \$282,500                         | \$456,884  | \$295,000                      | \$477,100   |
| 2010 | 214                            | 4.12%                                 | \$290,000                         | \$412,766  | \$295,000                      | \$419,822   |
| 2015 | 273                            | 4.03%                                 | \$301,000                         | \$397,222  | \$310,000                      | \$409,099   |
| 2020 | 271                            | 3.60%                                 | \$365,500                         | \$436,973  | \$375,064                      | \$448,407   |
| 2024 | 230                            | 4.10%                                 | \$538,318                         |  | \$525,000                      |   |

Source: CCPC Residential Housing Reports 1990-2024. \* Inflation calculated to January 2024 via the U.S. Bureau of Labor Statistics inflation calculator ([https://www.bls.gov/data/inflation\\_calculator.htm](https://www.bls.gov/data/inflation_calculator.htm)).

The Township’s median sales price has historically been slightly less than that as the County as a whole. By 2024, the Township’s median sales price of \$538,318 exceeded that of the Countywide median of \$525,000. This increase can partially be explained through a significant number of new units coming to market in the Township in 2024. The trend of increasing housing values is further illustrated in Census data which depicts a \$112,100 overall increase in median owner-occupied housing value from 2010-2022, with the greatest increase being in the \$500,000 to \$999,999 range.

### Housing Value (Owner-occupied Units)

| Value                  | West Whiteland<br>2006-2010 ACS | West Whiteland<br>2019-2023 ACS | Chester County<br>2006-2010 ACS | Chester County<br>2019-2023 ACS |
|------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| Median (dollars)       | \$333,100                       | \$463,300                       | \$334,300                       | \$461,800                       |
| Owner-occupied units   | 5,378                           | 4,957                           | 139,743                         | 151,694                         |
| Less than \$50,000     | 1.0%                            | 0.8%                            | 2.4%                            | 2.4%                            |
| \$50,000 to \$99,999   | 0.1%                            | 0.0%                            | 1.9%                            | 1.9%                            |
| \$100,000 to \$149,999 | 0.3%                            | 0.3%                            | 4.3%                            | 1.4%                            |
| \$150,000 to \$199,999 | 4.7%                            | 0.5%                            | 8.5%                            | 2.8%                            |
| \$200,000 to \$299,999 | 34.7%                           | 14.0%                           | 25.2%                           | 12.9%                           |
| \$300,000 to \$499,999 | 45.8%                           | 42.8%                           | 36.9%                           | 35.3%                           |
| \$500,000 to \$999,999 | 13.0%                           | 40.6%                           | 17.9%                           | 37.6%                           |
| \$1,000,000 or more    | 0.3%                            | 0.9%                            | 2.9%                            | 5.7%                            |

Sources: US Census, ACS 2006-2010 and 2019-2023 (Table DP04).

According to the Department of Housing and Urban Development (HUD), when a household spends more than 30 percent of its total income on housing, the household is cost burdened. In 2023 the median household income in West Whiteland was \$132,077, and 30 percent of this median was \$39,623 annually or \$3,302 monthly for housing expenses. Based on the median, the 2023 median sales price of \$538,318 would not be considered affordable as a 30-year mortgage with 20 percent down would result in an estimated monthly payment of \$3,657 in August 2025\*, not inclusive of other costs associated with housing. \* The monthly payment of \$3,757 requires 20 percent down (\$107,664) at time of purchase with an interest rate of 6.51 percent.

### Renter Characteristics

| Renting Characteristics    | West Whiteland<br>2006-2010 ACS* | West Whiteland<br>2019-2023 ACS | Chester County<br>2006-2010 ACS* | Chester County<br>2019-2023 ACS |
|----------------------------|----------------------------------|---------------------------------|----------------------------------|---------------------------------|
| Median (dollars)           | \$1,300                          | \$2,106                         | \$1,077                          | \$1,691                         |
| Units with no rent paid    | 22                               | 4                               | 1,929                            | 1,985                           |
| Occupied units paying rent | 2,016                            | 2,639                           | 39,464                           | 48,726                          |
| Less than \$500            | 0.9%                             | 0.0%                            | 7.3%                             | 3.7%                            |
| \$500 to \$999             | 10.8%                            | 0.0%                            | 35.6%                            | 8.5%                            |
| \$1,000 to \$1,499         | 66.0%                            | 7.0%                            | 38.0%                            | 25.5%                           |
| \$1,500 to \$1,999         | 22.3%                            | 35.4%                           | 19.1%                            | 32.3%                           |
| \$2,000 to \$2,499         | N/A                              | 36.0%                           | N/A                              | 17.4%                           |
| \$2,500 to \$2,999         | N/A                              | 15.9%                           | N/A                              | 5.9%                            |
| \$3,000 or more            | N/A                              | 5.7%                            | N/A                              | 6.7%                            |

Sources: US Census, ACS 2011-2015 & 2019-2023 (Table DP04). \*2006-2010 ACS: highest amount of rent listed was \$1,500 or more

Specific to renters, since 2010 ACS data depicts an increase in average monthly rent from \$1,300 to \$2,106. Further, in 2010 22.3 percent of renters paid between \$1,500-\$1,999 in average rent, but by 2023 this had increased to 35.4 percent, with 57.6 percent paying rents in excess of \$2,000. Rents less than \$1,500 decreased from 77.7 to 7 percent of total renters by 2023

Gross rent as percentage of household income

| Occupied units paying rent | West Whiteland<br>2006-2010 ACS | West Whiteland<br>2019-2023 ACS | Chester County<br>2006-2010 ACS | Chester County<br>2019-2023 ACS |
|----------------------------|---------------------------------|---------------------------------|---------------------------------|---------------------------------|
| Less than 15.0%            | 14.42%                          | 15.42%                          | 14.36%                          | 13.43%                          |
| 15.0 to 19.9%              | 25.38%                          | 17.99%                          | 14.61%                          | 12.25%                          |
| 20 to 24.9%                | 21.81%                          | 22.88%                          | 15.19%                          | 14.24%                          |
| 25 to 29.9%                | 8.82%                           | 13.40%                          | 12.47%                          | 12.88%                          |
| 30.0 to 34.9%              | 7.70%                           | 4.74%                           | 8.07%                           | 9.00%                           |
| 35% or more                | 21.87%                          | 25.56%                          | 35.30%                          | 38.20%                          |
| Not computed               | 3.87%                           | 2.68%                           | 6.68%                           | 5.07%                           |

Sources: US Census, ACS 2006-2010 and 2019-2023 (Table DP04).

According to HUD, when a household spends more than 30 percent of its total income on housing, the household is cost burdened. In 2023 the median household income in West Whiteland was \$132,077, and 30 percent of this median was \$39,623 annually or \$3,302 monthly for housing expenses. Based on the median, the 2023 median rent of \$2,106 plus expenses fell within the affordable range. However, as renting costs continue to rise, a greater number of residents who are cost-burdened with rents will also continue to rise.





➤➤➤➤➤ Appendix C:  
Zoning And Land Use  
In The State, County,  
and Adjoining  
Municipalities

## **C-1 Introduction**

This appendix provides an overview of zoning and land use policies enacted for the areas of municipalities adjacent to the Township. It further provides an overview of enabling legislation from the Pennsylvania Municipalities Planning Code (MPC) and recent planning and zoning efforts in West Whiteland. This appendix represents a snapshot of adjacent municipalities in 2025 and may not be as representative of them at the end of the plan's time horizon.

The review of existing long-range plans in adjacent municipalities can provide important information to consider as a part of the Township's comprehensive planning process. The goals, objectives, and recommendations identified in neighboring municipal plans outline information about their future land use decisions, transportation considerations, and recreational opportunities that can be impactful along shared borders. The review of adjacent municipal plans can also identify opportunities to improve planning consistency between the Township and its neighbors.

## **C-2 Comprehensive Planning in Pennsylvania**

This comprehensive plan was completed in compliance with the MPC, Act 247 of 1968, as reenacted and amended. The MPC enables municipal land use controls in Pennsylvania and provides the framework for developing and implementing comprehensive plans and local land use regulations, such as a zoning ordinance. The MPC calls on municipalities to review comprehensive plans every ten years.

While the 2025 West Whiteland Township Comprehensive Plan is organized as an implementable plan around priority issues, it includes all the components required by the MPC as follows:

1. Statement of Objectives - Addressed: Introduction
2. Plan for Land Use - Addressed: Chapter 5, Chapter 4
3. Plan to Meet Housing Needs - Addressed: Chapter 5
4. Plan for the Movement of People and Goods - Addressed: Chapter 1
5. Plan for Community Facilities and Utilities - Addressed: Chapter 3
6. Statement of plan component interrelationship - Addressed: Introduction
7. Short and Long-Range Implementation Strategies - Addressed: Individual topical chapters
8. Statement of Compatibility with Neighboring Municipalities and County Comprehensive Plan - Addressed: Appendix C
9. Plan for the Protection of Natural and Historic Resources - Addressed: Chapter 2
10. Plan for the Reliable Supply of Water - Addressed: Chapter 3
11. Plan for Energy Conservation - Addressed: Chapter 5

### C-3 Recent Planning and Zoning Efforts in West Whiteland

West Whiteland's previous comprehensive plan was adopted in 1994. In the time since its adoption, the Township proceeded with numerous actions to support implementation of the plan. Some of these actions included:

**The Township** has been active in keeping both their zoning and subdivision ordinances up-to-date through regular amendments to address existing conditions, evolving uses, and advance appropriate (re)development in the Township.

**In 2015**, the Whitford Road and Lincoln Highway Corridors Plan was adopted as an amendment to the comprehensive plan to provide an overall vision and strategies to improve safety and aesthetics of the corridors.

**In 2019**, a Bicycle and Pedestrian Plan was adopted as an amendment to the comprehensive plan to provide a framework for a comprehensive bicycle and pedestrian network throughout the Township.

**In 2019**, an official map was adopted in accordance with MPC Article IV. The official map was enacted to facilitate future infrastructure development of trails, sidewalks, road improvements, streetscape improvements, and intersection improvements.

**In 2020**, a study was completed by the Urban Lands Institute to evaluate and provide recommendations for improvements to the Town Center area of the Township.

**In 2022**, Chapter 3: Growth Management – Land Use Plan was adopted as an amendment to the comprehensive plan to highlight recent growth within the Township and provide a strategy to accommodate anticipated growth through 2040.

### C-4 Comprehensive Planning in Chester County

At the time of writing (2025) planning policy at the county level is established by Landscapes3, which was adopted by Chester County in November 2018. The vision in Landscapes3 is guided by the Landscapes Map, which depicts growth and rural resource areas.

West Whiteland is located in two designations: Suburban Center and Suburban. Areas of the Township are further included as part of the Significant Natural Landscapes Overlay.

- Suburban Center Landscapes "accommodate substantial future growth of medium to high intensity with a mix of uses, including commercial, residential, and industrial. As Suburban

Centers grow, repurposing obsolete structures and sites and encouraging sustainable development will be critical. Transportation infrastructure and amenities will need to expand with new development to create an integrated multimodal network for a variety of users.”

The Town Center in the vicinity of Route 100 and the commercial and industrial areas along Lincoln Highway west of Route 100 encompass the Suburban Center area.

- Suburban landscapes “are predominantly residential communities with locally-oriented commercial uses and community facilities. The Suburban landscapes will accommodate growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing types and affordability. Neighborhoods are inter-connected by roads, sidewalks, and paths with convenient access to parks and community facilities.”

The Suburban designation is the largest designation in West Whiteland and encompasses nearly all of the major subdivisions and residential areas in the Township outside of the Town Center area and the commercial and industrial areas along Lincoln Highway west of Route 100.

## **Compatibility with Landscapes Chester County Comprehensive Plan**

The West Whiteland Township Comprehensive Plan is consistent with the goals and recommendations of Landscapes<sup>3</sup> by advancing the Suburban Center vision with mixed-use (re)development throughout The Crossroads/Town Center area of the Township, radiating out from the PA Route 100/Lincoln Highway intersection; and suburban development in the remainder of the Township with natural resource corridors protected throughout.

## **C-5 Zoning and Land Use in Adjoining Municipalities**

West Whiteland is bordered by seven municipalities: East Caln and East Bradford to the west; Uwchlan and a small portion of Charlestown to the north; East Whiteland to the east; and, West Goshen and small portion of East Goshen to the south. Detail on planning policy in these adjoining municipalities is listed below.

**A. CHARLESTOWN TOWNSHIP** - The existing uses, zoning, and future land use at the municipal boundary with Charlestown are generally consistent with each other at the municipal boundary.

### **1. Adjoining zoning**

- a. FR Farm Residential District - This district encourages the use of prime agricultural soils for cultivation, to conserve critical environmental areas, and to limit the sprawling effect of development by encouraging the conservation of open space through a more compact arrangement of lots and buildings. This designation adjoins their portion of the municipal boundary at Grouse Road and Exton Park.

The FR designation in Charlestown abuts the R-1, Residential district along the entirety of the municipal boundary. The R-1 zoned properties not included as part of Exton Park have existing, single-family residential development consistent with what exists in the adjoining FR.

**2. Adjoining Future Land Use – 2021 Phoenixville Region Comprehensive Plan**

a. Low Density Residential (LDR) – The LDR designation abuts the entirety of the municipal boundary. The LDR future land use policy promotes single-family detached dwellings and cluster developments arranged to maximize open space at a density one unit per acre.

The LDR designation in Charlestown abuts a combination of Low Density Residential (LDR) and Open Space & Recreation (OSR) along the municipal boundary. Both of these designations compliment the same in Charlestown.

**B. EAST BRADFORD TOWNSHIP** - The existing uses, zoning, and future land use at the municipal boundary with East Bradford are generally consistent with each other at the municipal boundary.

**1. Adjoining zoning**

a. I Industrial District - This district provides for limited industrial and other related intensive activities in the Township, to establish reasonable standards governing industrial development to ensure its compatibility with the character of the area and adjacent land uses and to locate industrial uses within close proximity to major roads in order to provide safe and efficient access by industrial-related traffic. This designation adjoins their portion of the municipal boundary along Boot Road between the Amtrak and former P+T rights-of-way.

b. R-2 Residential District - This district provides for low-density residential development in areas of the Township which are not generally characterized by environmental constraints, support on-lot sewage disposal; to encourage continued agricultural, open space and conservation uses; and to encourage and promote phased development throughout the Township by permitting low-density residential uses in the R-2 District until other areas of the Township more accessible to adequate services and transportation are fully developed in medium- and high-density residential uses. This designation adjoins their portion of the municipal boundary between former P+T right-of-way and Guthrie Road.

c. R-3 Residential District - This district encourages medium-density residential development which is compatible with established land use patterns; located in areas of the Township which contain environmental features generally suitable for such development; and accessible to transportation systems and community facilities appropriate for such development. The R-3 District is designed to provide a transition between areas of low- and high-density residential uses. This designation adjoins their portion of the municipal boundary south of Guthrie Road.

All three of these designations in East Bradford abuts the R-1, Residential district along the entirety of the municipal boundary. These properties have existing, single-family residential de-

velopment and recreational uses consistent with what exists in East Bradford. The only area with conflicting zoning is with the I Industrial District, but at the time of writing this property was undeveloped and heavily wooded.

## **2. Adjoining Future Land Use – 2016 Comprehensive Plan**

- a. Industrial (I) – The I designation mirrors the same area of the Industrial zoning district at the municipal boundary. The I future land use policy promotes areas for industrial or manufacturing uses, including wholesaling, warehousing and office, with limited retail sales or services.
- b. Low Density Residential (LDR) – The LDR designation mirrors the same area of the R-2 Residential District zoning at the municipal boundary. The LDR future land use policy promotes housing development of generally less than one dwelling unit per two acres.
- c. Medium Density Residential (MDR) – The MDR designation mirrors the same area of the R-3 Residential District zoning at the municipal boundary. The MDR future land use policy promotes housing development of approximately one dwelling unit per acre.

The Low Density Residential (LDR) designation in West Whiteland abuts the majority of the municipal boundary, with a small areas of Transportation (T) at the rail ROW. The LDR and MDR areas in East Bradford generally complement the existing land use pattern in West Whiteland. The Industrial area borders both the T area as well as a small portion of the LDR.

## **C. EAST CALN TOWNSHIP**

The existing uses, zoning, and future land use at the municipal boundary with East Caln are generally consistent with each other at the municipal boundary.

### **1. Adjoining zoning**

#### **a. R-1 Single-family Detached Residential District**

This district provides for limited density of residential development while preserving environmentally sensitive natural features and scenic landscapes. This designation adjoins their portion of the municipal boundary at the Whitford Country Club.

The R-1 designation in East Caln abuts the R-1, Residential district along the entirety of the municipal boundary. These properties have existing, single-family residential development and recreational uses consistent with what exists in East Caln. It should be noted the country club use in this district is non-conforming in both municipalities as it is not a defined use allowed in either R-1 district.

#### **b. R-2 Single-family Detached Residential District**

This district provides for limited density, when off-site water and sewer service is provided, of residential development while preserving environmentally sensitive natural features and scenic landscapes.

The R-2 designation in East Caln abuts the R-1, Residential district along the entirety of the municipal boundary. These properties have existing, single-family residential development consistent with what exists in East Caln.

c. R-3 Single-Family Detached and Semidetached, Townhouse, Apartment, Mobile Home Park Residential District.

This district provides for limited density, when off-site water and sewer service is provided, of residential development while preserving environmentally sensitive natural features and scenic landscapes. Under the provisions of conditional use, townhouses, semidetached and apartments are permitted.

The R-3 designation in East Caln abuts the R-3, Residential district along the entirety of the jurisdictional border. Although the permitted uses in each district are consistent, in East Caln at the municipal boundary is a non-conforming, commercial use at the time of writing.

d. OC-2 Office, Commercial, Hotel/Motel District.

This district provides for office building and hotel/motels on single lots and under the provisions of condition use retail and personal service shops and restaurants when located within the office or hotel building.

The OC-2 designation in East Caln abuts the I-1, Limited Industrial district along the municipal boundary between Lincoln Highway and the Route 30 Bypass. The permitted uses in each district are consistent.

e. OC-3 Office, Commercial, Hotel/Motel Campus District.

This district provides suitable location for businesses that rely on a regional market area and need vehicular access to the interchange of Route 30. The large minimum lot size encourages large uses or an integration of smaller uses.

The OC-3 designation in East Caln abuts the I-2, General Industrial district along the municipal boundary between the Route 30 Bypass and the Amtrak/SEPTA rail line. North of Clover Mill Road, the existing quarry use spans the municipal border. South of Clover Mill Road in East Caln, is a townhouse community that is in consistent with the permitted uses in the adjoining I-2.

**2. Adjoining Future Land Use – 2024 East Caln Township Comprehensive Plan**

a. Low Density Residential (LDR) and Medium Density Residential (MDR) – The LDR and MDR designations abuts the northeastern corner of the Township with West Whiteland. The LDR and MDR future land use policy promotes limited, residential infill (re)development consistent with the existing built environment.

b. High Density Residential (HDR) – The HDR designation abuts the southeastern corner of the Township and encompasses Lennar at Clover Mill. The HDR future land use policy encompasses multi-family development and promotes community amenities and appropriate transitions from conflicting adjacent land uses.

c. Town Center (TC) – The TC designation abuts West Whiteland in the vicinity of Lincoln High-

way, north of the Route 30 Bypass. The TC future land use policy envisions vibrant commercial uses and consideration for more mixed-use redevelopment where appropriate.

- d. Quarry (Q) – The Q designation encompasses the areas contiguous with the Heidelberg Materials Downingtown Quarry that span the municipal boundary. The Q future land use policy recognizes its operation will continue for the foreseeable future and recommends zoning changes to better facilitate its operations.
- e. Golf Course (GC) – The GC designation encompasses the areas contiguous with the Whitford Country Club that span the municipal boundary. The GC future land use policy acknowledges the desire for the golf course use to remain but notes any redevelopment should be consistent with the surrounding community.

South of Lincoln Highway, with the exception of a small area of HDR in East Caln, the Heavy Industrial (HI) and Industrial & Business Park (IBP) designations in West Whiteland compliment the neighboring Q designation. North of Lincoln Highway a combination of Low Density Residential (LDR) and Open Space & Recreation (OSR) along the municipal boundary. This is generally consistent with the adjoining land use in East Caln with the exception of the frontage properties along Lincoln Highway which border TC

#### **D. East Goshen Township**

The existing uses, zoning, and future land use at the municipal boundary with East Goshen are consistent with each other at the municipal boundary.

##### **1. Adjoining zoning**

- a. R-2 Low Density Residential District - This district encourages low density residential development on lots of sufficient size to provide for on-lot sewage disposal and on-lot water supply. This designation adjoins the entirety of the municipal boundary with West Whiteland.

The R-1 designation in East Bradford abuts the R-1, Residential district along the entirety of the municipal boundary, and the boundary is located within the Mill Valley subdivision of single-family residential dwellings.

##### **2. Adjoining Future Land Use – 2015 East Goshen Township Comprehensive Plan**

- a. Low Density Residential (LDR) – The LDR designation abuts the entirety of the municipal boundary with West Whiteland and promotes low density, residential development consistent with the existing built environment.

The LDR designation in East Goshen abuts a combination of Low Density Residential (LDR) and Open Space & Recreation (OSR) along the municipal boundary. Both of these designations compliment the same in East Goshen.

**E. East Whiteland Township**

The existing uses, zoning, and future land use at the municipal boundary with East Whiteland are generally consistent with each other at the municipal boundary.

**1. Adjoining zoning****a. OS Open Space District**

This district is intended to preserve parkland, game lands, forests, conservation tracts, and other designated community resource areas for their perpetual use and enjoyment as open space by the residents of the Township. This designation adjoins their portion of the municipal boundary at the far northwest corner of the Township, contiguous with Exton Park.

The OS designation in East Whiteland abuts the R-1, Residential district along the entirety of the municipal boundary. The contiguous R-1 zoned properties are all part of Exton Park.

**b. R-1 Low-Density Residential District**

This district is intended to provide locations and development standards for single-family detached residential dwellings and is also appropriate for residential clustering. This designation adjoins their portion of the municipal boundary at the far southwest corner of the Township, south of the Amtrak/SEPTA right-of-way.

From north to south, the R-1 designation in East Whiteland abuts the O/L, Office/Laboratory district along the municipal boundary south of the Amtrak/SEPTA right-of-way, inclusive of properties developed with commercial offices. The I-1, Limited Industrial district abuts from south of the O/L to King Road and includes developed properties with light industrial uses. South of King Road, East Whiteland abuts the R-1, Residential district, and includes developed properties with single-family homes.

**c. R-2 Low-Density Residential District**

This district is intended to provide locations and development standards for single-family detached residential dwellings and is also appropriate for residential clustering at medium-low-density areas. This designation adjoins their portion of the municipal boundary at the far southwest corner of the Township, south of the Amtrak/SEPTA right-of-way.

The R-2 designation in East Whiteland abuts the O/L, Office/Laboratory district along the entirety of the municipal boundary between Old Valley Road and the Chester Valley Trail. At the time of writing, the adjoining properties in West Whiteland were vacant, but a proposal for a 317 unit, age-restricted active adult community with a mixture of single-family, twins, and townhouses was before the Township which generally compliments the neighboring Malvern Hunt subdivision.

**d. INS Institutional District**

This district is intended to provide appropriate locations and development standards for a

wide range of types of institutions. This designation adjoins their portion of the municipal boundary just south of the Chester Valley Trail. At the time of writing, these zoned properties were vacant but approved for construction of a data center.

The INS designation in East Whiteland abuts the O/L, Office/Laboratory district along the entirety of the municipal boundary. At the time of writing, these properties were vacant but approved for construction of stormwater facilities associated with the data center proposed in neighboring East Whiteland.

e. O/BP Office/Business Park District

This district is intended to provide appropriate locations and development standards for medium-to-high-intensity business or professional offices. This designation adjoins their portion of the municipal boundary in the vicinity of Route 202, north of the Amtrak/SEPTA right-of-way. At the time of writing, these zoned properties included a variety of light industrial, utility, and commercial uses.

The O/BP designation in East Whiteland abuts the O/L, Office/Laboratory district along the entirety of the municipal boundary. These properties in West Whiteland all have uses of a similar nature to those in East Whiteland.

## **2. Adjoining Future Land Use – 2016 East Whiteland Township Comprehensive Plan**

All the future land use designations in East Whiteland generally mirror that of the existing zoning. As such, the future land use policy generally matches that of the underlying zoning

a. Open Space (OS) – The OS designation encompasses functional recreational areas, natural open space for conservation, preservation, or recreational uses.

b. Low Density Residential (LDR) – The LDR designation encompasses housing development of generally less than 3.5 dwelling units per acre.

c. Institutional (INS) – The INS designation encompasses public/private uses related to governmental functions, education, elder care, cultural facilities, and hospitals.

d. Office/Business Park (O/BP) – The O/BP designation encompasses areas for traditional office parks with some ancillary uses.

Along the entirety of the municipal boundary with East Whiteland, the various future land use designations generally complement each other.

## **F. Uwchlan Township**

The existing uses, zoning, and future land use at the municipal boundary with Uwchlan are generally consistent with each other at the municipal boundary.

### **1. Adjoining zoning**

a. R-1 Low Density Residential District

This district is intended to provide suitable areas for neighborhoods of single-family home development at densities which are dependent upon off-site sewerage and water facilities. This designation adjoins nearly the entirety of the municipal boundary.

The R-1 designation in Uwchlan abuts the R-1, Residential district along the majority of the municipal boundary, and all properties have complimentary single-family homes on each side of the boundary.

Adjoining a small section of the boundary, west of Route 100 is the NC, Neighborhood Commercial district. Although a commercial focused district, the existing land use in Uwchlan that adjoins this area contains a small, multi-family facility. East of Route 100 is an area zoned R-2, Residential district. The existing land use in this area are townhouses that generally compliment the PRD development in adjoining Uwchlan.

**2. Adjoining Future Land Use – 2020 Uwchlan Township Comprehensive Plan**

a. Medium Density Residential (MDR) – The MDR designation abuts the entirety of the municipal boundary with West Whiteland and promotes medium density, residential development consistent with the existing built environment.

The MDR designation in Uwchlan abuts a combination of Low Density Residential (LDR) and Open Space & Recreation (OSR) along the municipal boundary. Both of these designations compliment the same in Uwchlan.

**G. West Goshen Township**

The existing uses, zoning, and future land use at the municipal boundary with West Goshen are generally consistent with each other at the municipal boundary.

**1. Adjoining zoning**

a. R-2 Residential District

This district is intended to provide areas for single-family home development. This designation adjoins West Whiteland along the municipal boundary west of Grove Road.

The R-2 designation in West Goshen abuts the R-1, Residential district along the entirety of the municipal boundary, and all properties have complimentary single-family homes on each side of the boundary.

b. R-3 Residential District

This district is intended to provide areas for single-family home development. This designation adjoins West Whiteland along the municipal boundary east of Grove Road to Boot Road.

The R-3 designation in West Goshen mostly abuts the R-1 and R-2 Residential districts along the entirety of the municipal boundary, and all properties have complimentary single-family homes on each side of the boundary. A small portion also borders the NC, Neighborhood

Commercial district in the vicinity of Boot Road. At the time of writing, this area was wooded, but any future development should incorporate adequate buffering and screening with the adjoining residential development in West Goshen.

c. R-4 Residential District

This district is intended to provide areas for single-family, two-family, and multi-family home development. This designation adjoins West Whiteland along the municipal boundary east of Phoenixville Pike.

The R-3 designation in West Goshen abuts the R-1 Residential district along the entirety of the municipal boundary, and all properties have complimentary single-family homes on each side of the boundary.

d. C-1R Neighborhood Commercial District (Restricted)

This district is intended to provide areas for small-scale commercial operations that complement adjacent residential areas. This designation adjoins West Whiteland along the municipal boundary between Boot Road and Phoenixville Pike.

The C-1R designation in West Goshen abuts the R-2 Residential district along the entirety of the municipal boundary. The adjoining property is the open space area of the Hollyview subdivision.

## **2. Adjoining Future Land Use – 2019 West Goshen Township Comprehensive Plan**

a. Residential Infill Development (RID) – The RID designation abuts the nearly the entirety of the municipal boundary with West Whiteland and envisions development in this area would taking the form of infill development and would conform to the existing neighborhood’s physical form to preserve the neighborhood’s character.

b. Neighborhood Commercial (NC) – The NC designation abuts the municipal boundary with West Whiteland between Boot Road and Phoenixville Pike and envisions commercial areas that enable residents to obtain basic goods and services at locations convenient to their neighborhoods. These areas are intended to accommodate small-scale uses that are compatible with the surrounding neighborhood.

The RID designation in West Goshen abuts a combination of Low Density Residential (LDR) and Open Space & Recreation (OSR) along the municipal boundary. The same is for the NC designation at Boot/Ship Road. Both of these designations compliment the same in West Goshen.



»»»»» Appendix D:  
Public Participation

## **D-1 Introduction**

An essential part of the development of a comprehensive plan is community participation in the overall process. As part of the West Whiteland update, public input was solicited and subsequently included as an element of the proposed recommendations and implementation strategies presented in each topical chapter. This appendix outlines the various methods utilized through the process to engage in the overall community.

## **D-2 Comprehensive Plan Task Force**

Development of this plan was led by a task force consisting of members of the Planning Commission, Public Services Commission, Stormwater Task Force, a representative of the Board of Supervisors, and Township residents. The task force analyzed and evaluated pertinent information affecting land use, connectivity, economic development, natural resources, environmental sustainability, parks and recreation, historic preservation, and community facilities throughout the Township. Recommendations were developed by the task force to meet the challenges and opportunities identified through the planning process, and then shared with the public for review and endorsement.

## **D-3 Stakeholder Interviews**

Early in the planning process, numerous individuals within the community were identified by the Township to meet independently for a stakeholder interview. People interviewed represented a wide array of interests and areas of expertise.

Feedback received from the various stakeholders was overwhelmingly positive, especially regarding interaction with municipal staff. Stakeholders lauded the progressive mindset of township administration and its active communication. A general overview of these interviews is listed below.

- There is a need for affordable and moderately priced homes to support workforce, but no incentive.
- Need more housing options, not just larger multi-family facilities.
- Need to continue to address stormwater and traffic related issues.
- Need to plan for future of more dated office and industrial parks.
- Concern with residential encroaching into industrial and commercial areas.
- What is the future of Exton Mall?
- Need for more non-retail uses (i.e. hotel, conference center, mom & pop restaurants, etc.)
- Township has generally been helpful guiding through the development process.
- Need more housing options, not just larger multi-family facilities.
- Need more pedestrian facilities connecting neighborhoods to commercial areas.
- Continue to provide support to police and first responders.
- Ensure infrastructure supports anticipated growth (i.e. roads, sewer, fiber-optic facilities, etc.)
- More opportunities for adaptive reuse and ability to modernize/adapt historic resources.
- Multi-family developments are seeing greater number of families, not just 1-2 person households.

### D-4 Public Workshop

On September 25, 2024, a public workshop was held at the Township Building to introduce the project and solicit direct feedback from the community on strengths and opportunities facing the Township. Those at the workshop participated in a pair of visioning exercises to allow for direct input into the process. Those in attendance provided valuable feedback that helped in further refining draft goals and recommendations.

### D-5 Public Meeting

On October 29, 2024, a public meeting was held at the Township Building to present the draft plan recommendations and solicit direct feedback from the community on them. Those in attendance provided valuable feedback that helped in further refining draft goals and recommendations.



### D-6 MPC Adoption Process

Winter 2026

### D-7 Public Survey Results

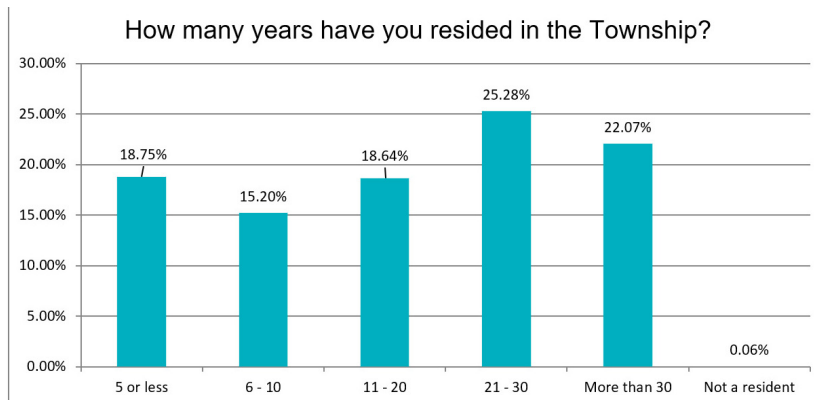
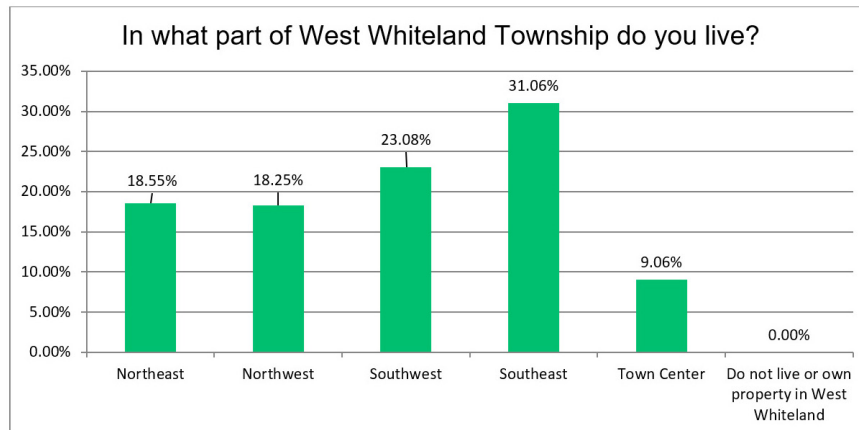
The public survey was conducted via SurveyMonkey and included a variety of questions regarding resident satisfaction with features in the community. For each question, survey participants were able to leave specific comments and feedback.

The survey was open from October 1, 2024, through February 1, 2025 and was promoted on the Township newsletter, website, and social media. Residents were encouraged to share the survey with others in the community. A total of 1,944 people took the survey, of which 1,717 indicated they were Township residents. Based on the 2023 Census ACS population estimate of 20,630 residents, 8.3 percent of Township residents took the survey. Respondents also provided over 3,600 individual comments.

While not meant to be scientific or reflective of the entire community, the responses and comments received from this survey were a component in informing the overall goals, objectives, and recommendations of this plan along with other relevant information. The results of this survey, as well as summaries of common feedback are provided below.

## D-7(A) Geographic Representation

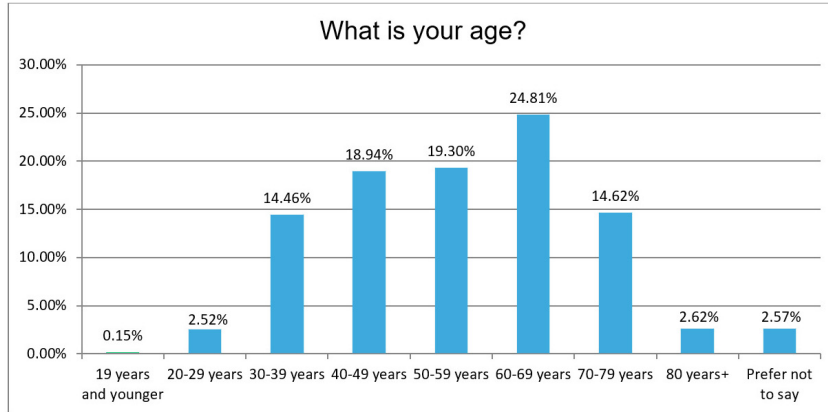
### Respondents represented all Township geographic areas



The tenure of those who took the survey was representative of both new and long-time residents. Those who have lived for more than twenty years in the Township were most represented, but a significant number of newer residents also participated in the survey.

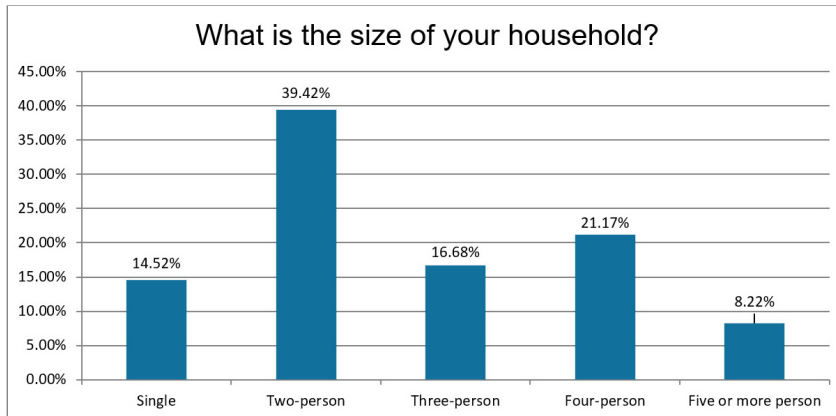
### D-7(B) Age of Survey Respondents

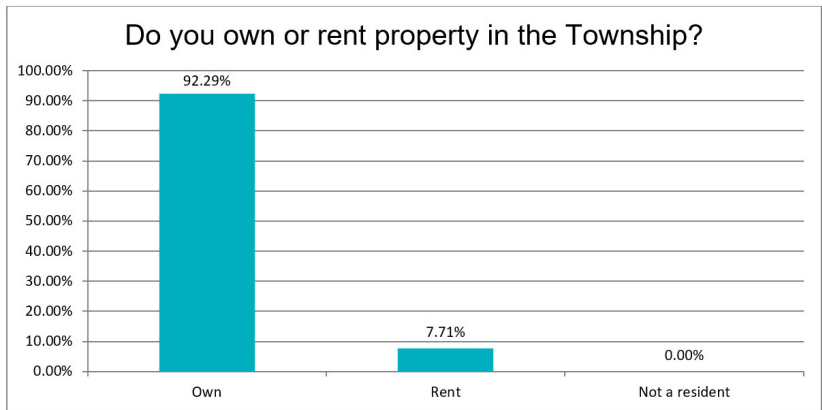
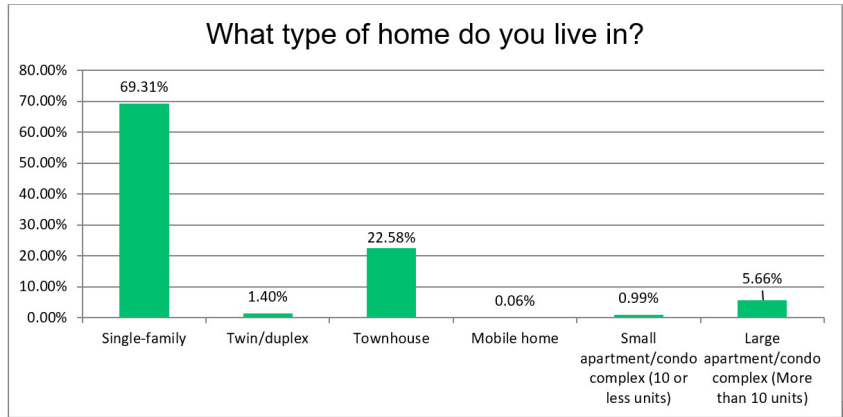
The survey response rate had high numbers of respondents from the ages of 30-69. This is generally reflective of the large number of families and retirees that reside in the Township.



### D-7(C) Household Characteristics of Survey Respondents

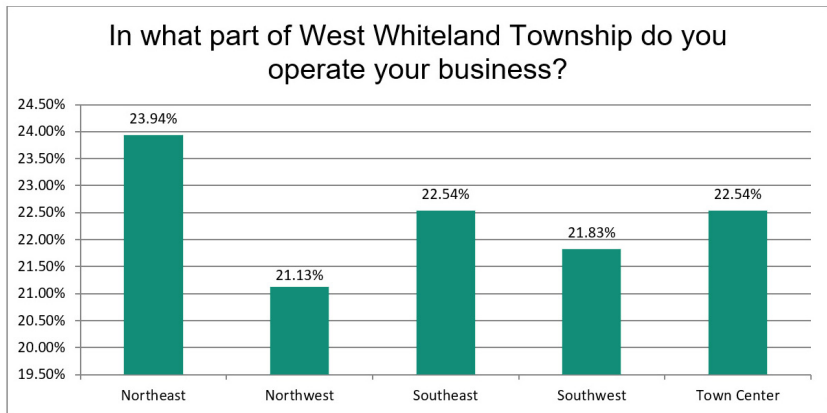
The household size of respondents generally reflects the overall makeup of the Township. Although two-person households was the highest percentage, those with three or more members in the household make up the largest percentage which constitute the many families calling the Township home. Respondents were predominantly property owners living in single-family detached homes.

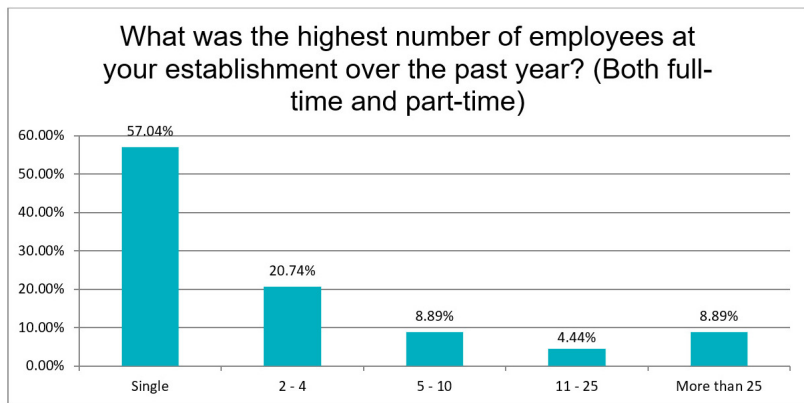
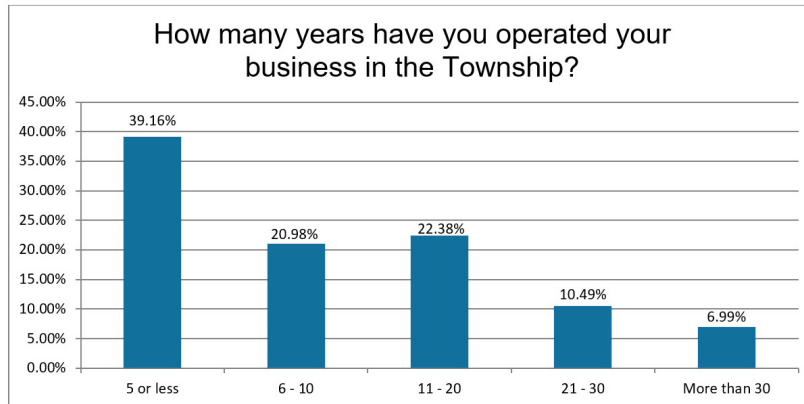




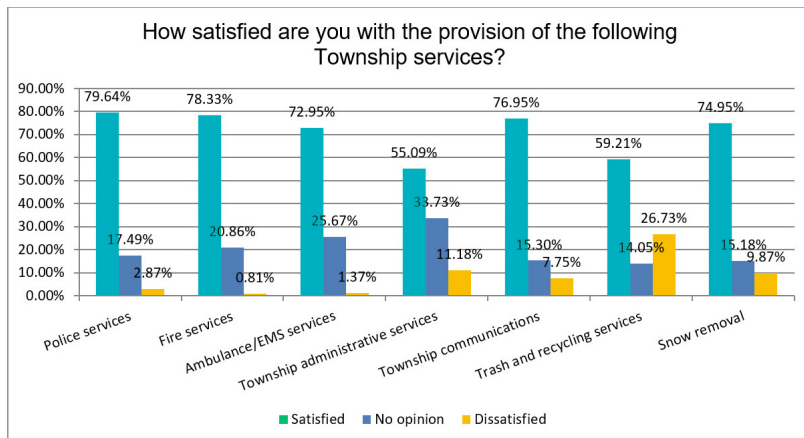
## D-7(D) Business and Businessowners

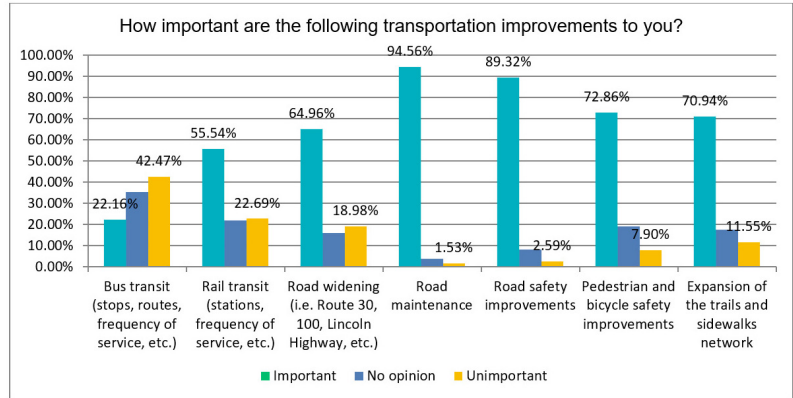
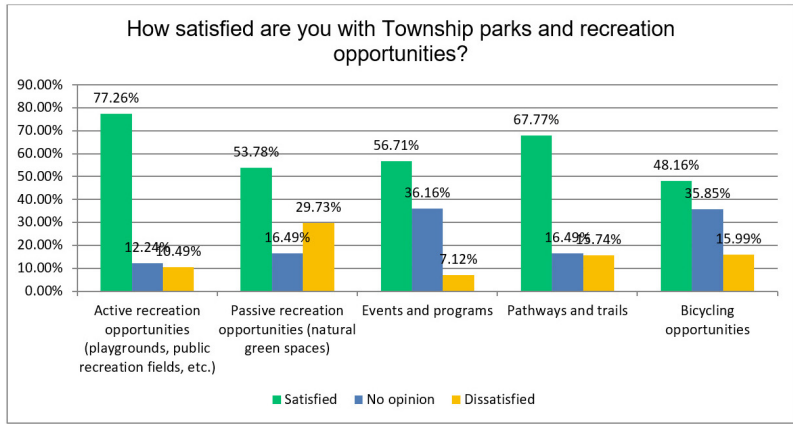
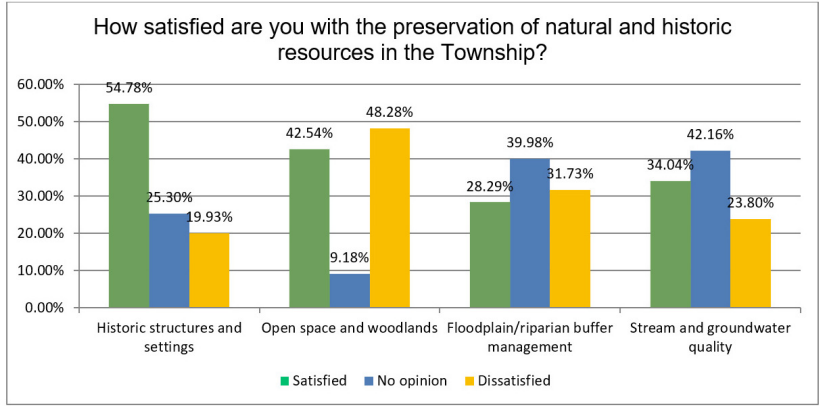
Businessowners who took the survey operated in all areas of the Township. The majority were sole practitioners that have been in operation for less than five years.

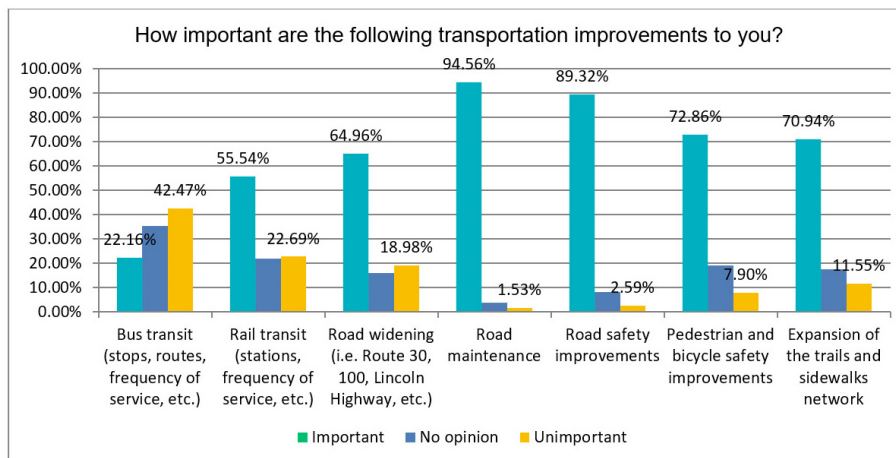
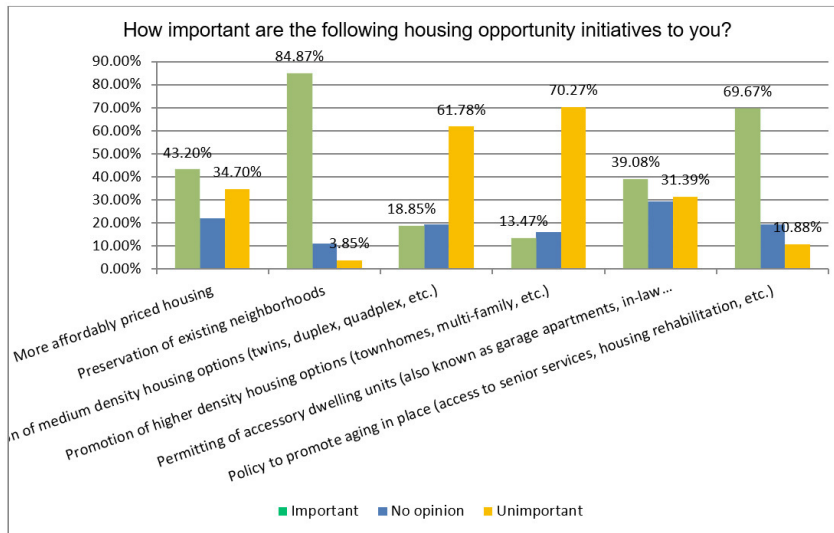
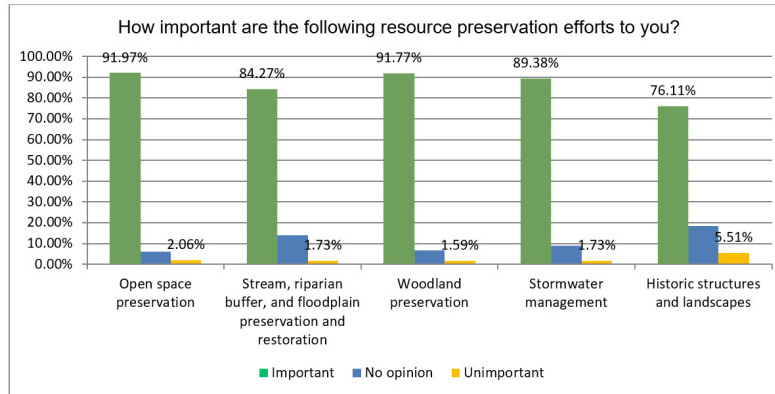


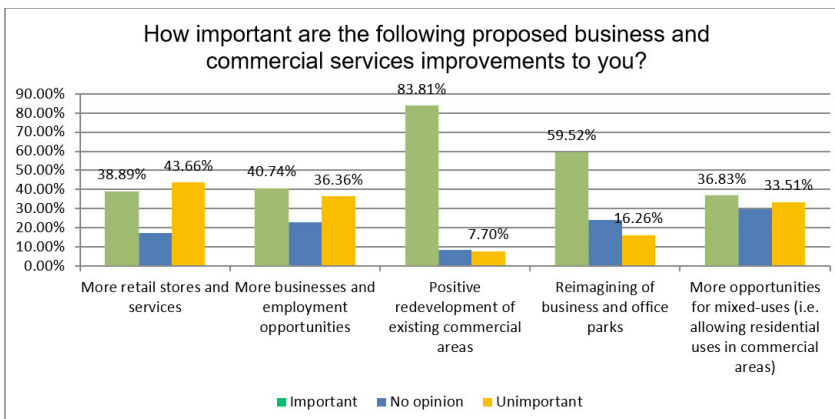
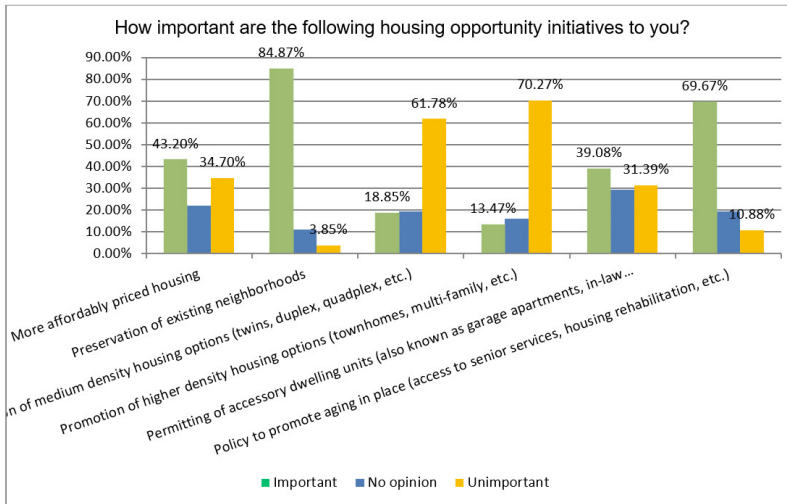
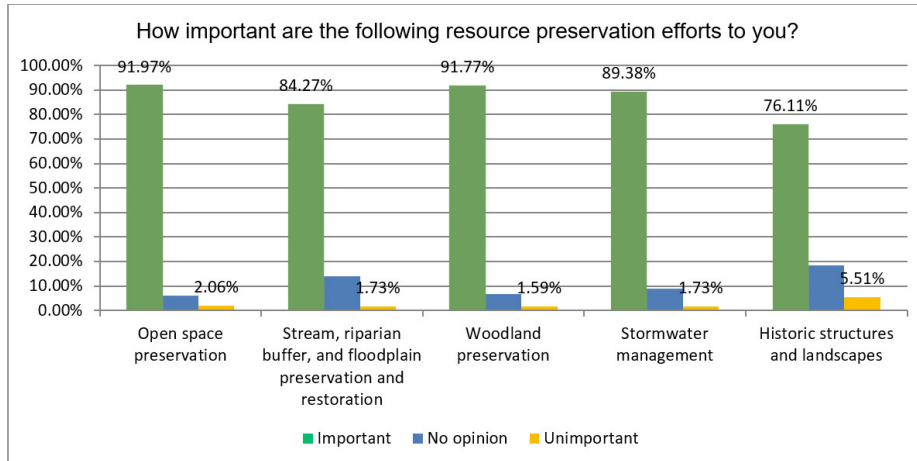


## D-7(E) Respondents Satisfaction

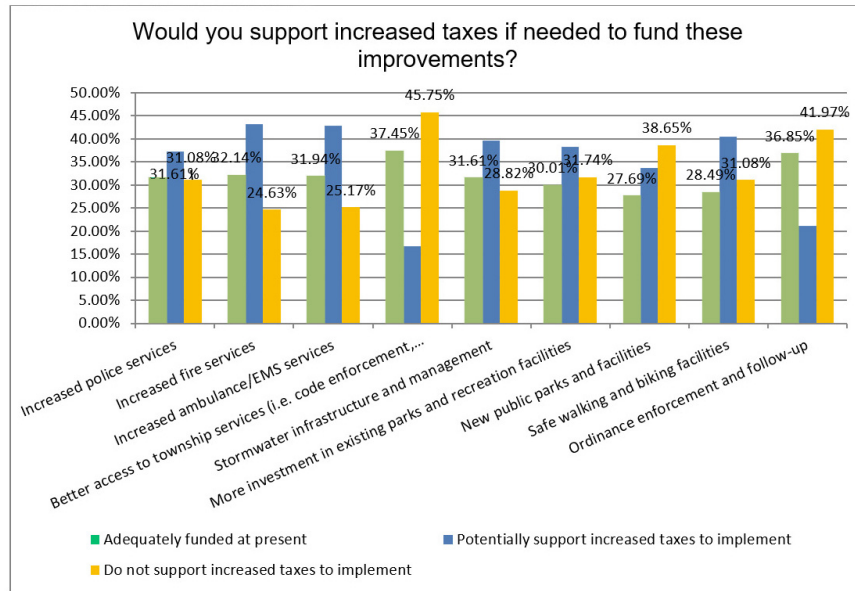








### D-7(F) Respondent Support (or lack of) for Increased Fees/Taxes for Service Enhancements



### D-7(G) Summary of Respondents Written Comments

Below is a sampling of the diverse array of written comments received as part of the public survey.

#### Do you have any specific concerns or feedback about any of the above topics?

- Overdevelopment
- Please stop building housing complexes. It's destroying this township
- Stop allowing the building of homes!
- West Whiteland does NOT need more housing or commercial building just to increase its tax base.
- Overbuilding without the infrastructure to support!!
- To many people - overdeveloped. In my eyes ruined the township.
- Traffic congestion.
- The roads cannot handle the volume of traffic.
- Traffic congestion due to all the new housing units.
- Traffic signals are not timed very well.
- Increasing taxes.
- Taxes jumped up way to high this year, kind of ridiculous.
- I am not focused on increasing services but rather maintaining what is currently offered.
- Keep management financially efficient. Do not increase taxes.
- Green/open space preservation.
- Stop destroying the green space of West Whiteland.
- Not just grass and paved walkways, we need real natural spaces with trees and native plants.
- Better pedestrian infrastructure.
- Connect with more sidewalks for better pedestrian safety and connectivity.
- Need more walking/biking trails from residential areas to shopping centers.
- Stormwater management.
- Stormwater management is a nightmare.

- Revisit the code for storm water management for long time home owners.
- Stormwater, too much flooding in West Whiteland township!
- Trash pickup.
- Trash and recycling setup needs reevaluated.

What do you think will be the most significant challenges or opportunities that West Whiteland Township will face in the next five years?

- We should not be aiming to be the next King of Prussia.
- Increased demand on infrastructure due to increased population from new apartments/homes.
- Repurposing of Exton Square, and abandoned industrial spaces.
- Administrative bloat and runaway local government costs.
- Managing the growth in population that the many apartments/condos that have been built will create, while preserving the positives of the community.
- Preservation of open space to manage floodwaters.
- Over population. Too much building ... too many people.
- Too much traffic due to over building.
- Traffic and affordable housing

**Do you have any further comments that you want the Township to consider?**

- Develop/expand housing and entertainment options for residents of all ages.
- The infrastructure needs to be addressed before any further development.
- Preserve open space.
- Get rid of the trash bags and do a normal trash collection.
- Love how low taxes are. Please explore other ways to increase revenue if needed.
- Do not raise taxes!
- Slow down all this new construction and repurpose existing structures.
- Keep reaching out to your constituents.
- The infrastructure needs to be addressed before any further development.



➤➤➤➤➤ Appendix E:  
Glossary of Terms

# Glossary of Terms and Acronyms

---

## GLOSSARY OF TERMS

**Cool roof** – A roof designed to reflect more sunlight than a conventional roof, absorbing less solar energy. This can save energy and money in buildings with air conditioning or improve comfort and safety in buildings without air conditioning, by reducing heat flow from the roof into the occupied space. A cool roof can also include a green roof.

**Crime Prevention Through Environmental Design (CPTED)** – A multi-disciplinary approach to crime prevention that uses urban and architectural design and the management of built and natural environments to both reduce and minimize fear of crime.

**Best Management Practices (BMPs)** – BMPs are policies, practices, procedures, or structures implemented to mitigate the adverse environmental effects on surface water quality resulting from development. BMPs are categorized as structural or non-structural.

**Invasive species** – An invasive species means an alien species whose introduction does or is likely to cause economic or environmental harm or harm to human health.

**Managed meadow** – An area intentionally planted with a mix of native wildflowers and grasses, which is maintained, including but not limited to: annual or biannual mowing, pest management and prevention, and weeding.

**Microtransit** – A technology-enabled service that uses multi-passenger vehicles to provide on-demand services with dynamically generated routing. Microtransit services are traditionally provided in designated service areas. Service models include first mile/last mile connections to fixed route services; hub to hub zone-based services; the commingling of ADA complementary paratransit services with general transit service; and point-to-point service within a specific zone or geography.

**Multi-modal** – Multi-modal transportation includes walking, biking, transit, rail, cars, and trucks. Multi-modal transportation is the movement of people and goods on roadways, including but not limited to, motorists, transit-riders, freight-carriers, bicyclists and pedestrians, including those with disabilities.

**Municipal Separate Storm Sewer (MS4)** – MS4 means a conveyance, or system of conveyances owned or operated by a public body having jurisdiction over disposal of sewage, industrial wastes, stormwater, or other wastes, designed or used for collecting or conveying stormwater; which is not a combined sewer; and which is not part of a Publicly Owned Treatment Works (POTW) as defined at 40 CFR 122.2.

**Pollution reduction plan (PRP)** – A PRP outlines the plan the Township will use to reduce pollutants discharged from the Township storm sewer system consistent with the requirements of the PAG-13 MS4 Individual Permit.

**Ridesharing** – Involves adding passengers to a private trip in which driver and passengers share a destination. Such an arrangement provides additional transportation options for riders while allowing drivers to fill empty seats in their vehicles. Traditional forms of ridesharing include carpooling and vanpooling.

**Riparian buffer** – A riparian buffer is a vegetated area near a watercourse, usually forested, which helps shade and partially protect the stream from the impact of adjacent land uses. They further serve to increase quality and reduce pollution of a watercourse.

**Stub street** – A portion of a street or cross access drive used as an extension to an abutting property that may be developed in the future.

---

## FREQUENTLY USED ACRONYMS

**BMP** – Best management practices

**CCCD** – Chester County Conservation District

**CCEDC** – Chester County Economic Development Council

**CCPC** – Chester County Planning Commission

**CIP** – Capital improvements plan

**CPTED** – Crime Prevention Through Environmental Design

**CVT** – Chester Valley Trail

**DVRPC** – Delaware Valley Regional Planning Commission

**EIT** – Earned income tax

**HOA** – Homeowners association

**MS4** – Municipal Separate Storm Sewer Systems

**PADCED** – Pennsylvania Department of Community and Economic Development

**PADEP** – Pennsylvania Department of Environmental Protection

**PHMC** – Pennsylvania History and Museum Commission

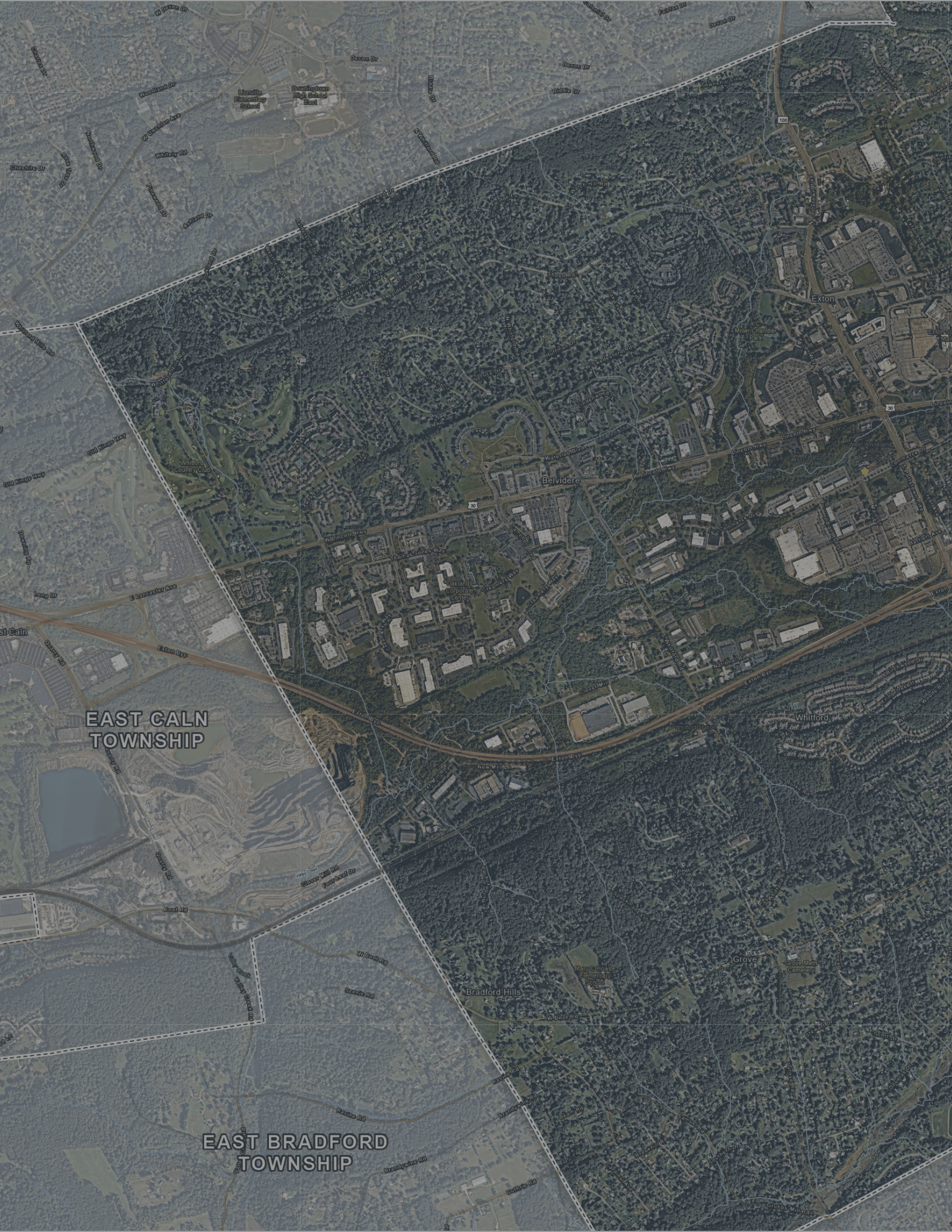
**TMACC** – Transportation Management Agency of Chester County

**TII** – Transportation Improvements Inventory

**TIP** – Transportation Improvement Program

**WCACOG** – West Chester Area Council of Governments





**EAST CALN  
TOWNSHIP**

**EAST BRADFORD  
TOWNSHIP**

**EAST  
WHITELAND  
TOWNSHIP**

**EAST GOSHEEN  
TOWNSHIP**

**WEST GOSHEEN  
TOWNSHIP**



Swedesford Road Park

Swedesford Road

Planebrook

Glenloch

Morstein

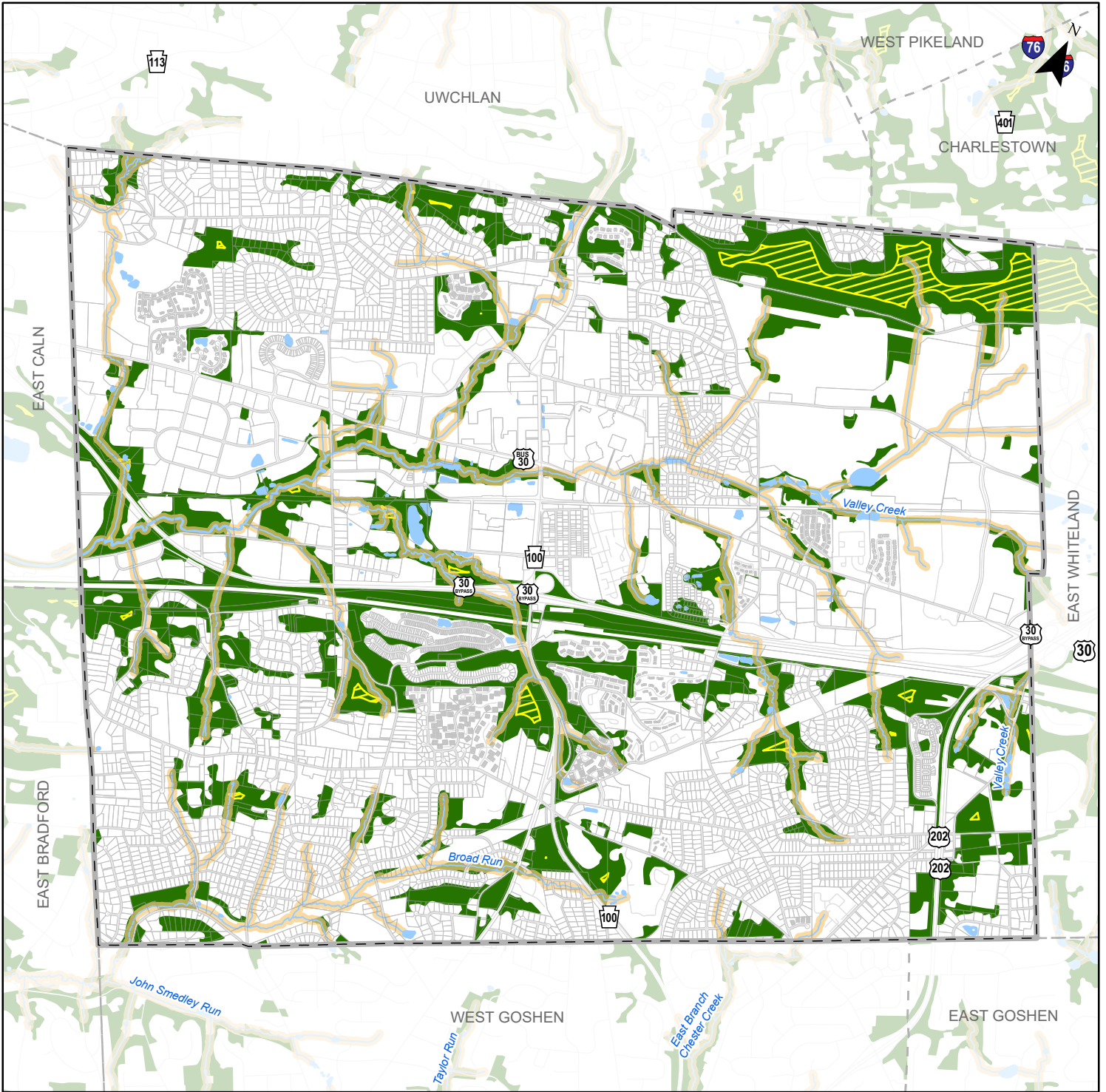
Kirkland

Pepple

Commons at Coshen

Green Manor Farm

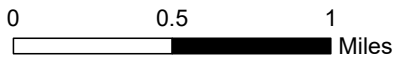




### Biotic Resources

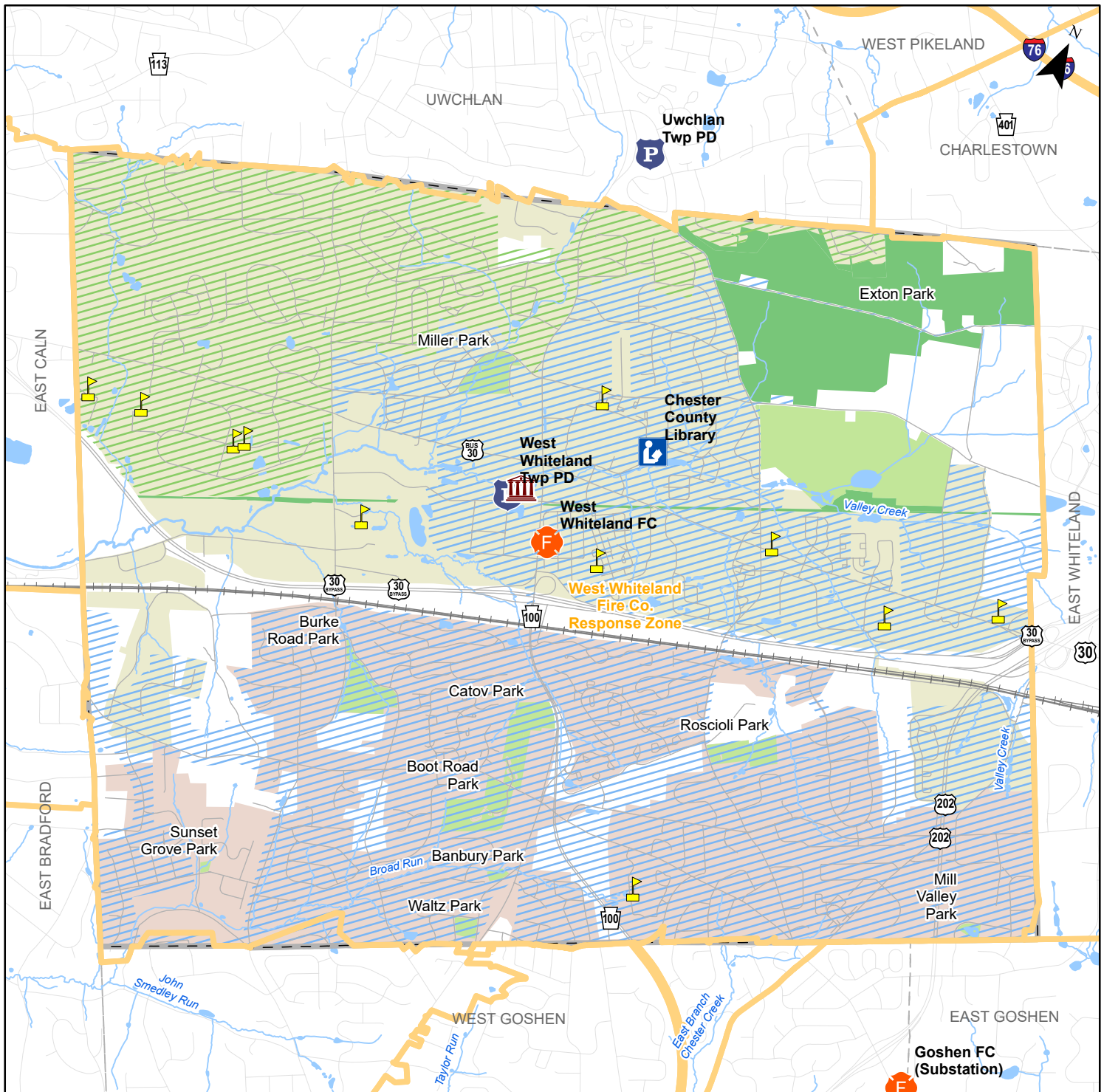
West Whiteland Township, PA  
Comprehensive Plan 2026

-  Estimated tax parcels
-  Roads
-  Water bodies
-  Streams
-  Township boundary
-  Adjacent municipal boundaries
-  Riparian buffer (100ft)
-  Woodland
-  Interior woodland (>300ft from edge)



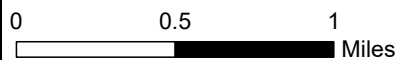
Data Source: Base data from Chester County Geographic Information Services, 2025; Woodland data from DVRPC, 2023.

Prepared By: Chester County Planning Commission, 11/7/2025



# Community Facilities

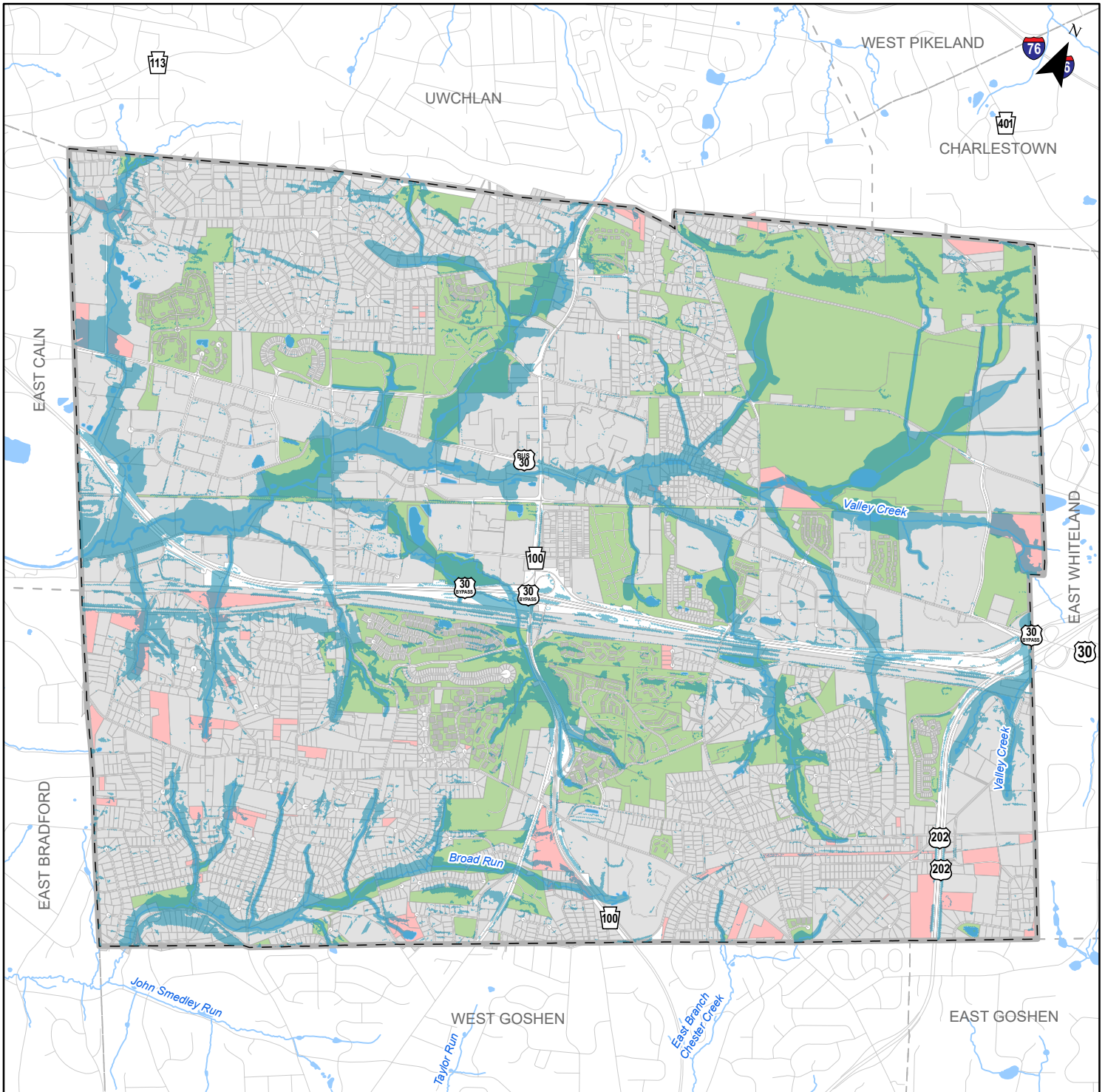
West Whiteland Township, PA  
Comprehensive Plan 2026



Data Source: Base data from Chester County Geographic Information Services, 2025. County parks and municipal recreation (active and passive) from West Whiteland Township, 2025.











Prepared By: Chester County Planning Commission, 1/5/2026

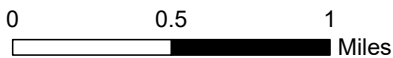
- |   |                          |                                    |
|---|--------------------------|------------------------------------|
| — Roads                                   | Emergency response zones | <b>Water service area</b>          |
| — Railroad                                | Fire stations            | Blue hatched: Aqua PA Main System  |
| Water bodies                              | Police stations          | Green hatched: Aqua PA Uwchlan     |
| Streams                                   | Private schools          | <b>Sewer service area</b>          |
| Township boundary                         | Township building        | Brown: West Goshen Sewer Authority |
| Adjacent municipal boundaries             | Public libraries         |                                    |
| County Parks                              |                          |                                    |
| Municipal Recreation (Active and Passive) |                          |                                    |



### Developable Lands

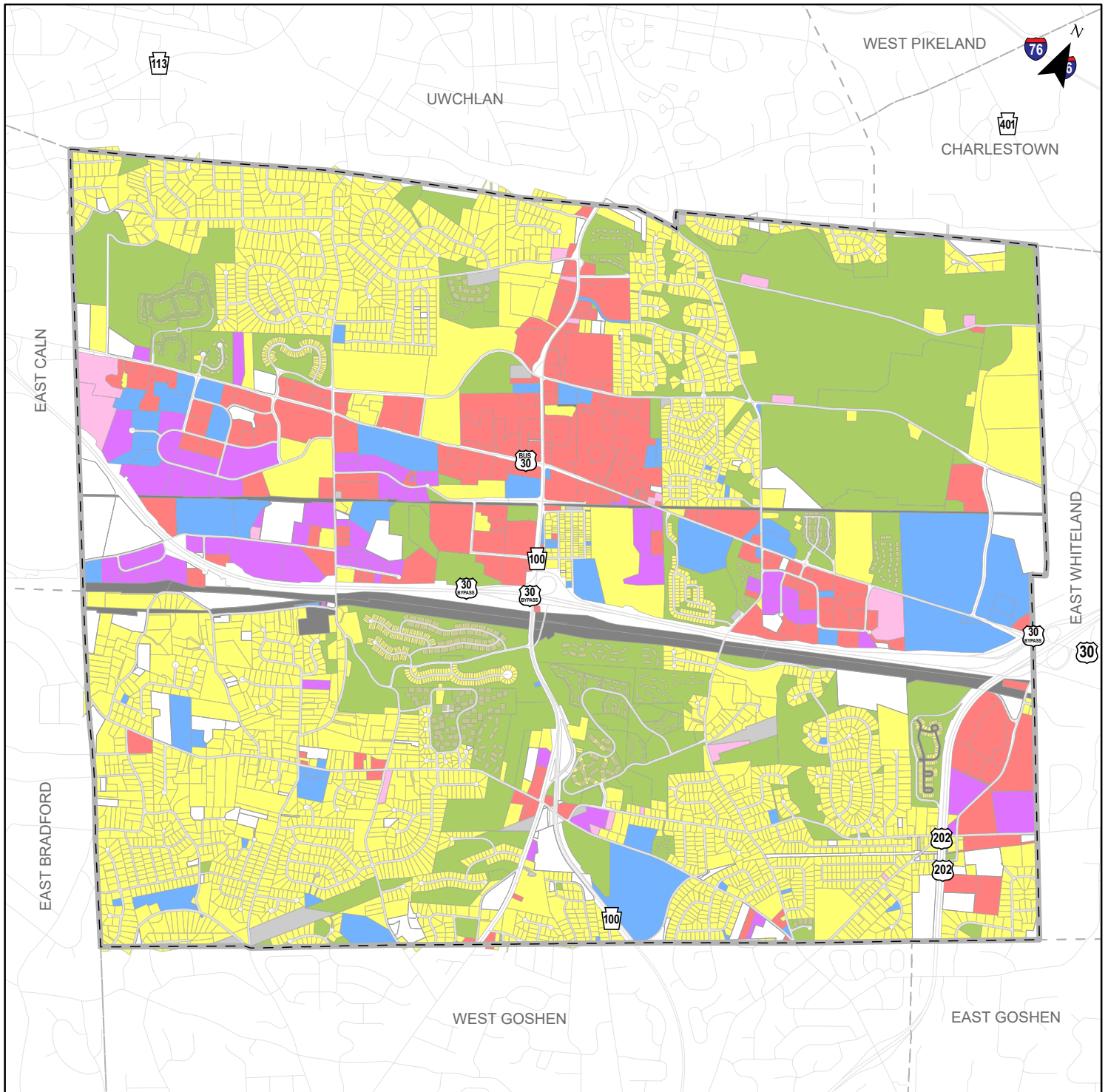
West Whiteland Township, PA  
Comprehensive Plan 2026

-  Estimated tax parcels
-  Roads
-  Streams
-  Water bodies
-  Township boundary
-  Adjacent municipal boundaries
-  Protected Parcels
-  Developable Parcels
-  Developed Parcels
-  Natural resources & constraints  
Wetlands, 100 & 500 year floodplain, streams/lakes, steep slopes, 50 ft. riparian buffer







Data Source: Base data from Chester County Geographic Information Services, 2025.










Prepared By: Chester County Planning Commission, 11/10/2025

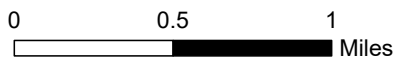


## Existing Land Use

West Whiteland Township, PA  
Comprehensive Plan 2026

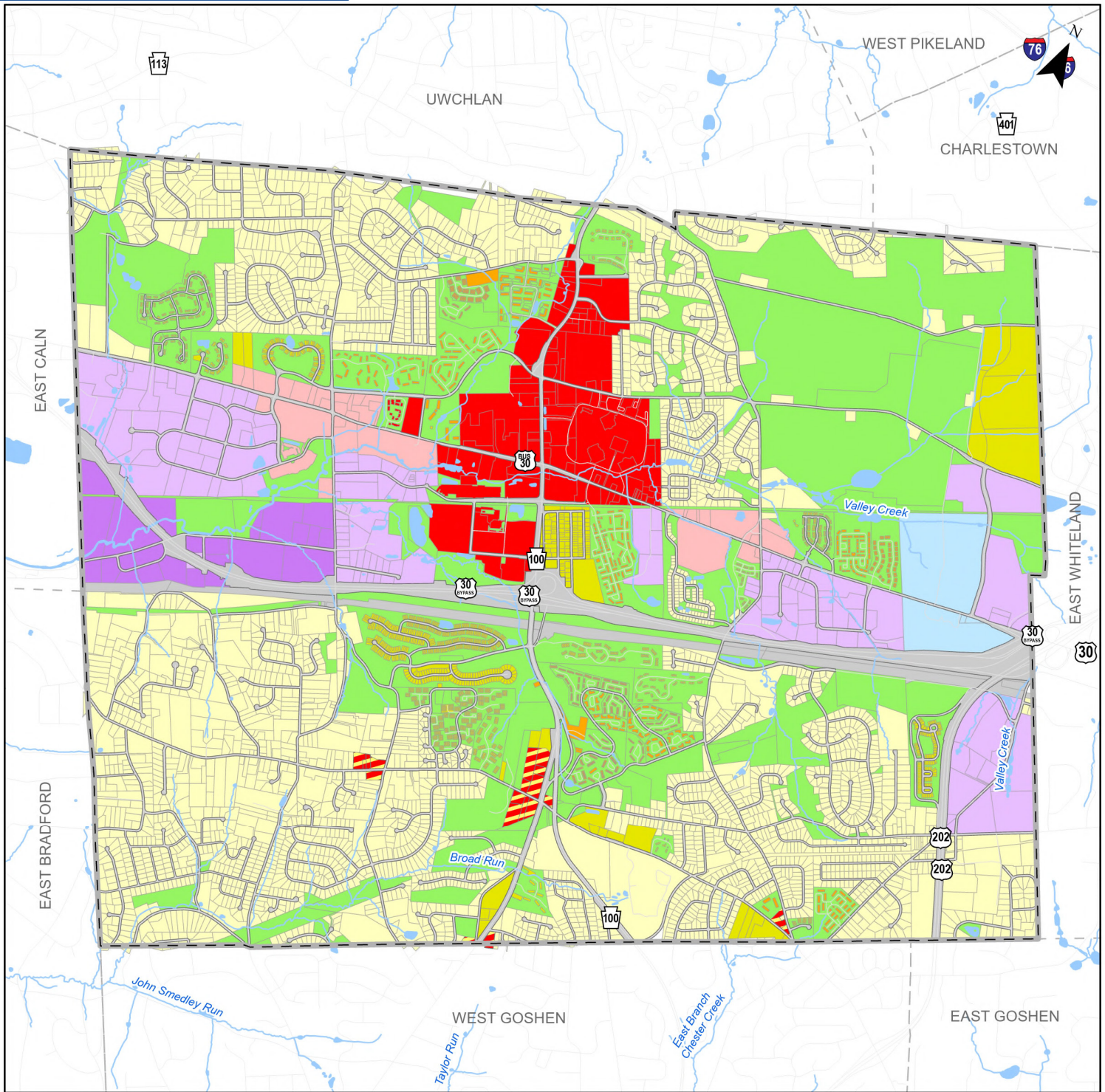
-  Estimated tax parcels
-  Roads
-  Township boundary
-  Adjacent municipal boundaries

-  Residential (3,174.2 acres)
-  Commercial (820.7 acres)
-  Institutional (518.1 acres)
-  Industrial (318.4 acres)
-  Mixed-use (75.7 acres)
-  Park/recreation/HOA (1,850.8 acres)
-  Utility (43.9 acres)
-  Other infrastructure (196.0 acres)
-  Vacant (421.0 acres)



Data Source: Base data from Chester County Geographic Information Services, 2025; Parcel based land use as of October 14, 2025, from West Whiteland Township, 2025.

Prepared By: Chester County Planning Commission, 11/10/2025



## Future Land Use

West Whiteland Township, PA  
Comprehensive Plan 2026

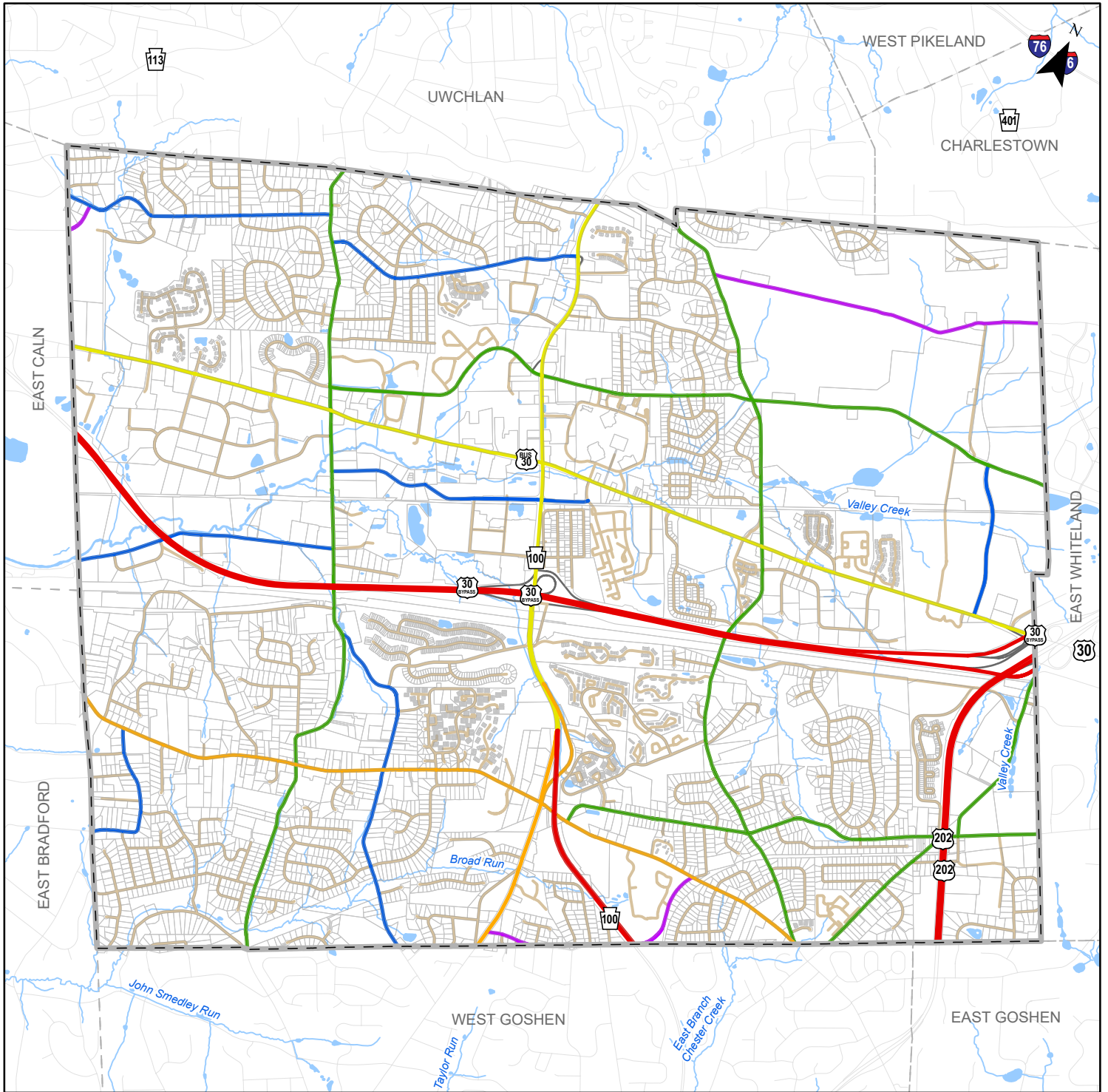
- Estimated tax parcels
- Roads
- Township boundary
- Adjacent municipal boundaries

- LDR - Low Density Residential (2,958.2 acres)
- MDR - Medium Density Residential (319.5 acres)
- HDR - High Density Residential (66.8 acres)
- NC - Neighborhood Commercial (32.7 acres)
- LHT - Lincoln Highway Transition (168.7 acres)
- IBP - Industrial & Business Park (697.3 acres)
- HI - Heavy Industrial (188.0 acres)
- TCMU - Town Center Mixed Use (426 acres)
- C - Campus (131.9 acres)
- OSR - Open Space & Recreation (2304.2 acres)
- T - Transportation (111.9 acres)

0 0.5 1 Miles

Data Source: Base data from Chester County Geographic Information Services, 2025; Parcel based future land use from West Whiteland Township, 2025.






Prepared By: Chester County Planning Commission, 12/12/2025











# Highway Functional Classification

West Whiteland Township, PA  
Comprehensive Plan 2026

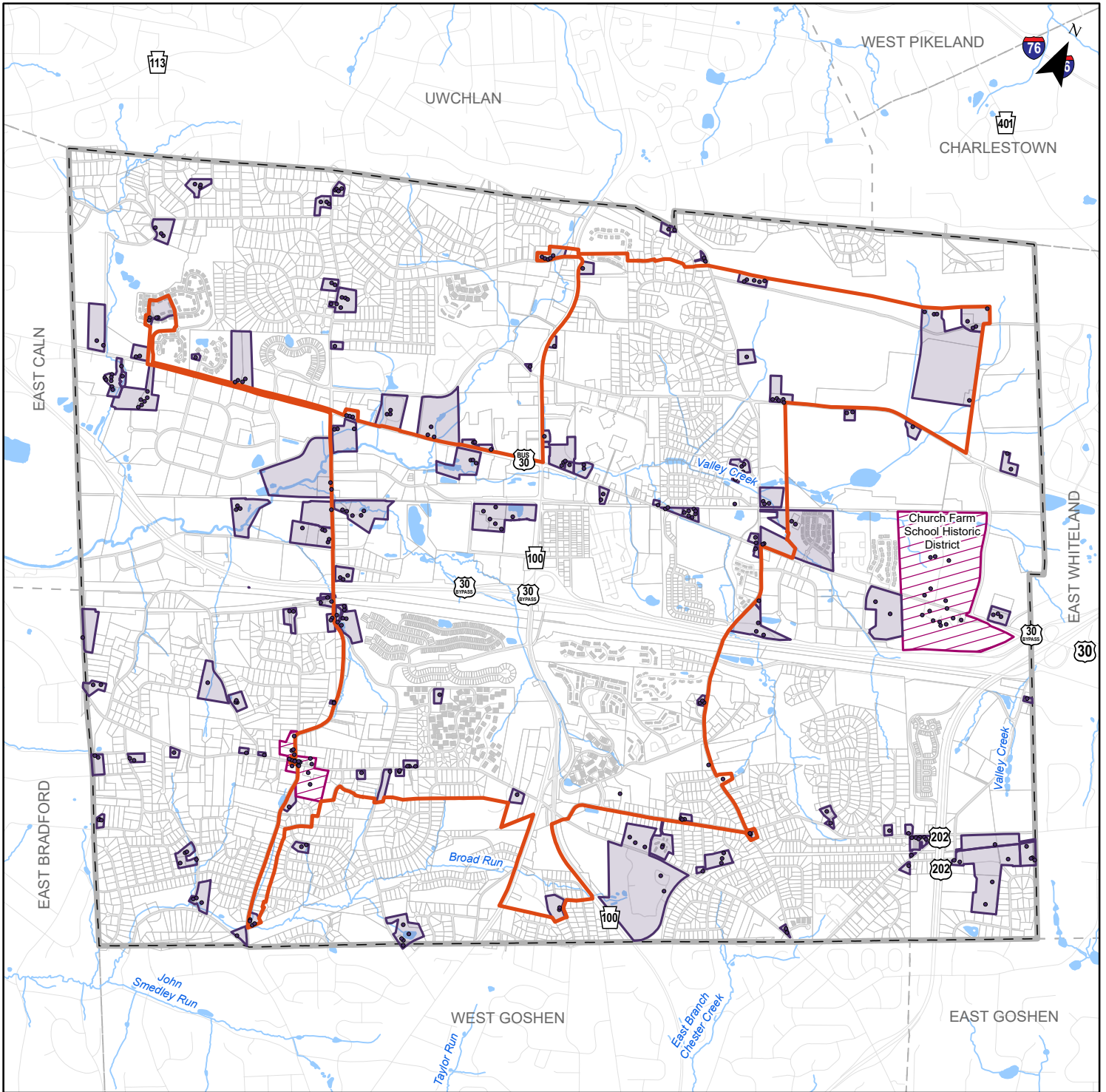
0 0.5 1  
Miles

-  Estimated tax parcels
-  Streams
-  Water bodies
-  Township boundary
-  Adjacent municipal boundaries

-  Expressway
-  Major Arterial
-  Principal Arterial
-  Major Collector
-  Minor Collector
-  Local Distributor
-  Local
-  Ramp











Data Source: Base data from Chester County Geographic Information Services, 2025.

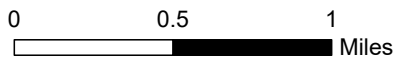
Prepared By: Chester County Planning Commission, 11/10/2025



### Historic Resources

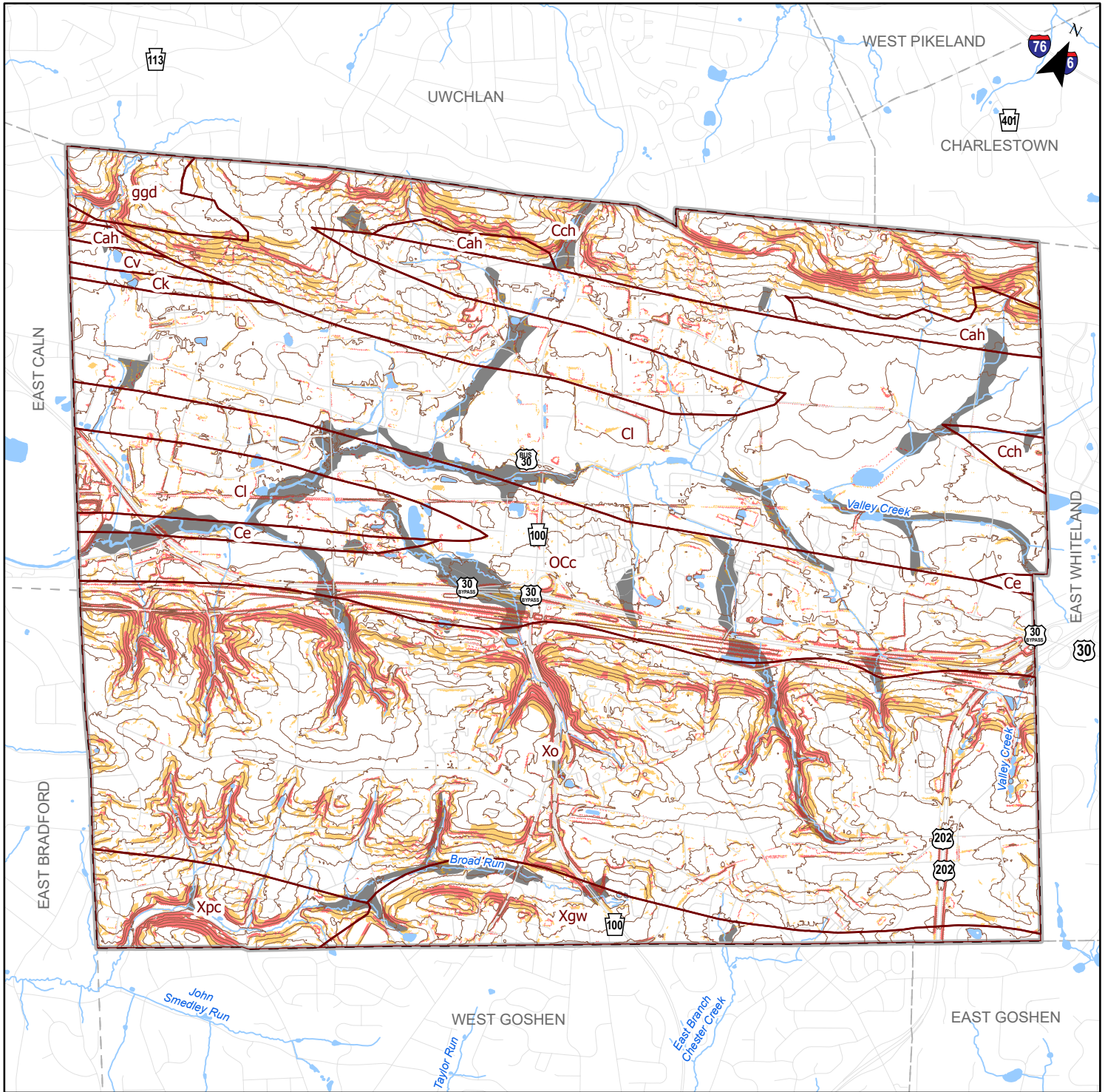
West Whiteland Township, PA  
Comprehensive Plan 2026

-  Estimated tax parcels
-  Roads
-  Water bodies
-  Streams
-  Township boundary
-  Adjacent municipal boundaries
-  Historic Resources
-  Designated Historic Resource Boundary
-  Township Historic District
-  Battle of the Clouds Historic District



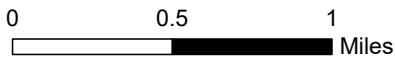
Data Source: Base data from Chester County Geographic Information Services, 2025; Designated historic resources, historic boundaries, and historic districts from West Whiteland Historical Commission, 2022.

Prepared By: Chester County Planning Commission, 11/13/2025



# Land Resources

West Whiteland Township, PA  
Comprehensive Plan 2026



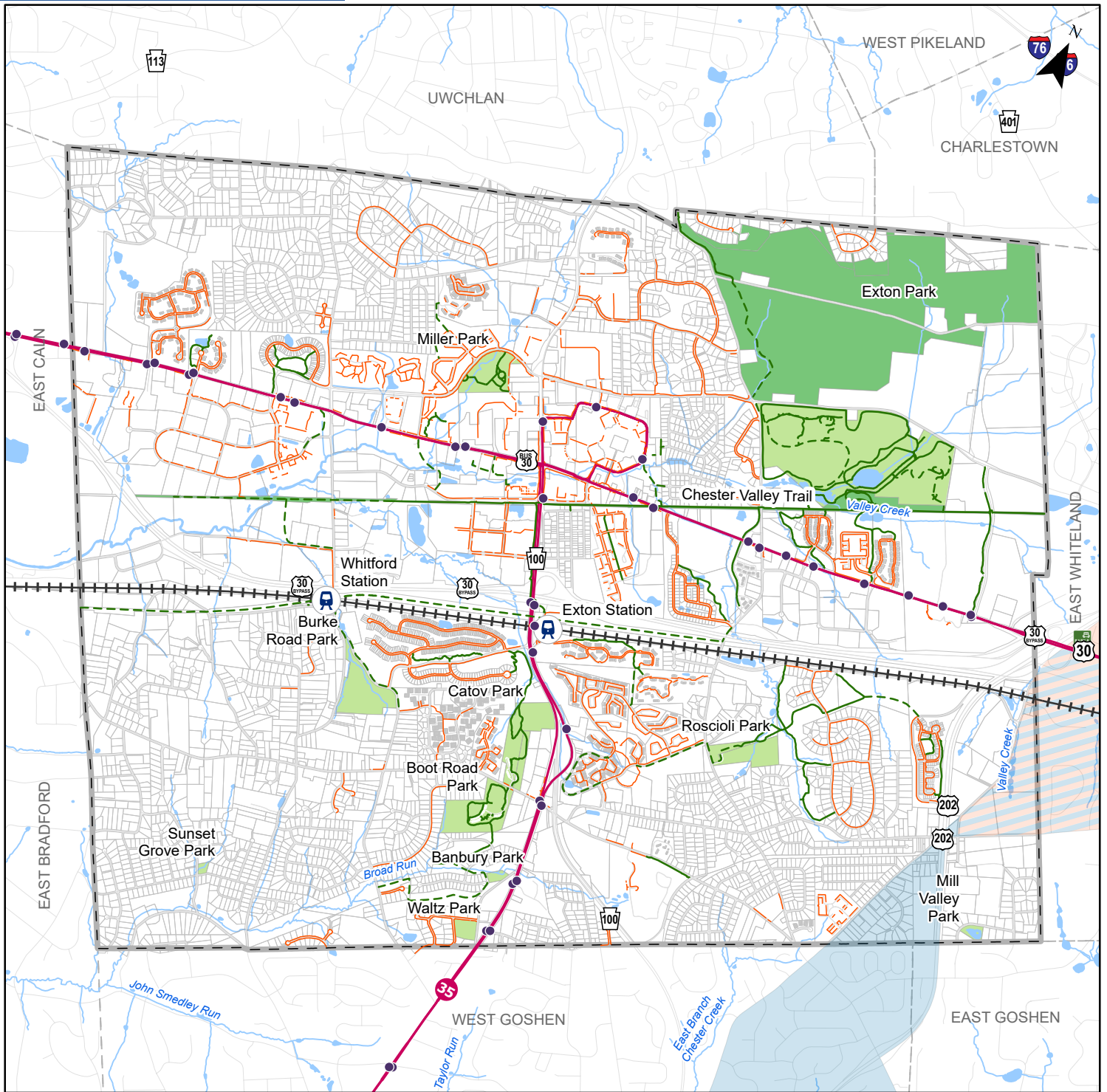
- Roads
- Streams
- Water bodies
- Township boundary
- Geological units
- Moderate slopes (15-24%)
- Steep slopes (25%+)
- Adjacent municipal boundaries

- 20 ft contours
- Hydric & predominantly hydric soils

**Geological Code Type**

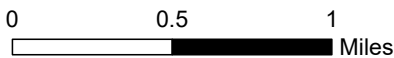
|     |  |
|-----|--|
| Cah | Antietam and Harpers Formations, undivided |
| Cch | Chickies Formation                         |
| Ce  | Elbrook Formation                          |
| Ck  | Kinzers Formation                          |
| Cl  | Ledger Formation                           |
| Cv  | Vintage Formation                          |
| ggd | Felsic and intermediate gneiss             |
| OCc | Conestoga Formation                        |
| Xgw | Glenarm Wissahickon formation              |
| Xo  | Octoraro Formation                         |
| Xpc | Peters Creek Schist                        |

Data Source: Base data from Chester County Geographic Information Services, 2025; Hydric soils from USDA NRCS 2013.



### Multi-Modal Facilities

West Whiteland Township, PA  
Comprehensive Plan 2026



Data Source: Base data from Chester County Geographic Information Services, 2025; Bus stops, bus routes, and on-demand zones from SEPTA, 2024; Trails, sidewalks, county parks, and municipal recreation (active and passive) from West Whiteland Township, 2025.

Prepared By: Chester County Planning Commission, 1/5/2026

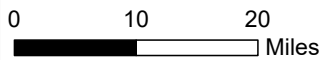
- |  |                               |  |                              |  |   |
|--|-------------------------------|--|------------------------------|--|---|
|  | Estimated tax parcels         |  | Park and ride                |  | County Parks                              |
|  | Roads                         |  | SEPTA & Amtrak rail stations |  | Municipal Recreation (Active and Passive) |
|  | Keystone corridor             |  | SEPTA bus stops              |  | SEPTA on-demand zones                     |
|  | Water bodies                  |  | SEPTA bus routes             |  | Paoli-Great Valley                        |
|  | Streams                       |  | Existing trails              |  | West Chester-Malvern                      |
|  | Township boundary             |  | Future trails                |  | Paoli-Great Valley / West Chester-Malvern |
|  | Adjacent municipal boundaries |  | Sidewalks                    |  |   |



## Regional Setting

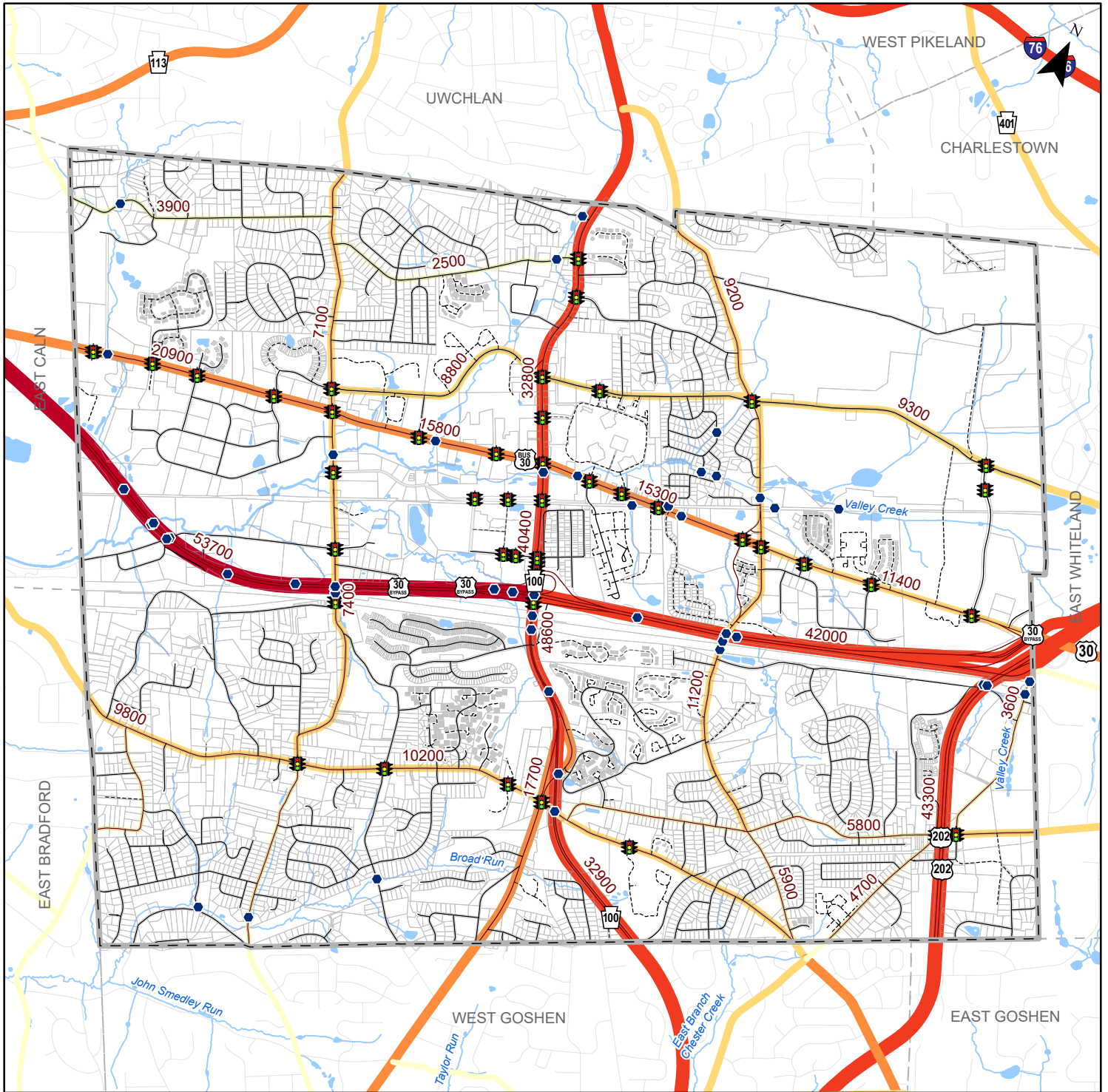
West Whiteland Township, PA  
Comprehensive Plan 2026

- West Whiteland Township
- Chester County boundary
- Chester County municipalities



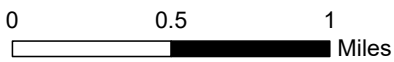
Data Source: Base data from Chester County Geographic Information Services, 2025; Map data © OpenStreetMap contributors, Microsoft, Facebook, Inc. and its affiliates, Esri Community Maps contributors, Map layer by Esri.

Prepared By: Chester County Planning Commission, 10/22/2025



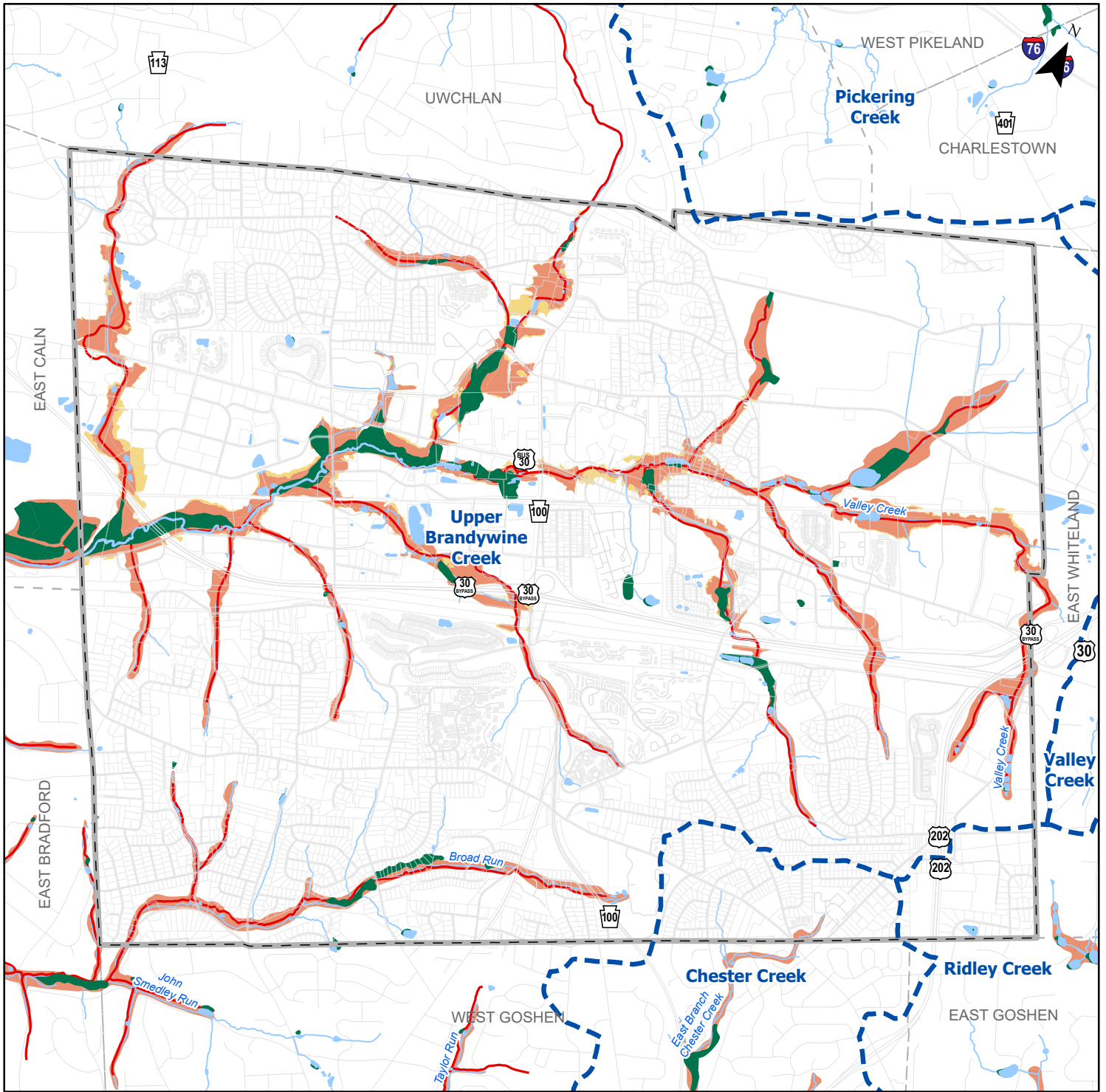
## Roadway Ownership & Estimated Daily Traffic

West Whiteland Township, PA  
Comprehensive Plan 2026



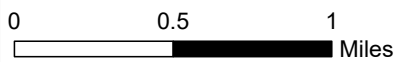
- |  |                               |  |                    |  |                         |
|--|-------------------------------|--|--------------------|--|-------------------------|
|  | Estimated tax parcels         |  | Traffic signals    |  | Estimated daily traffic |
|  | Water bodies                  |  | Bridges            |  | 6001 - 12800            |
|  | Streams                       |  | Road owner         |  | 12801 - 24200           |
|  | Township boundary             |  | PennDOT            |  | 24201 - 48600           |
|  | Adjacent municipal boundaries |  | Municipality/local |  | 48601 - 93100           |
|  |                               |  | Private            |  |                         |
|  |                               |  | Unknown            |  |                         |












Data Source: Base data from Chester County Geographic Information Services, 2025; Traffic signals from West Whiteland Township, 2025.



# Water Resources

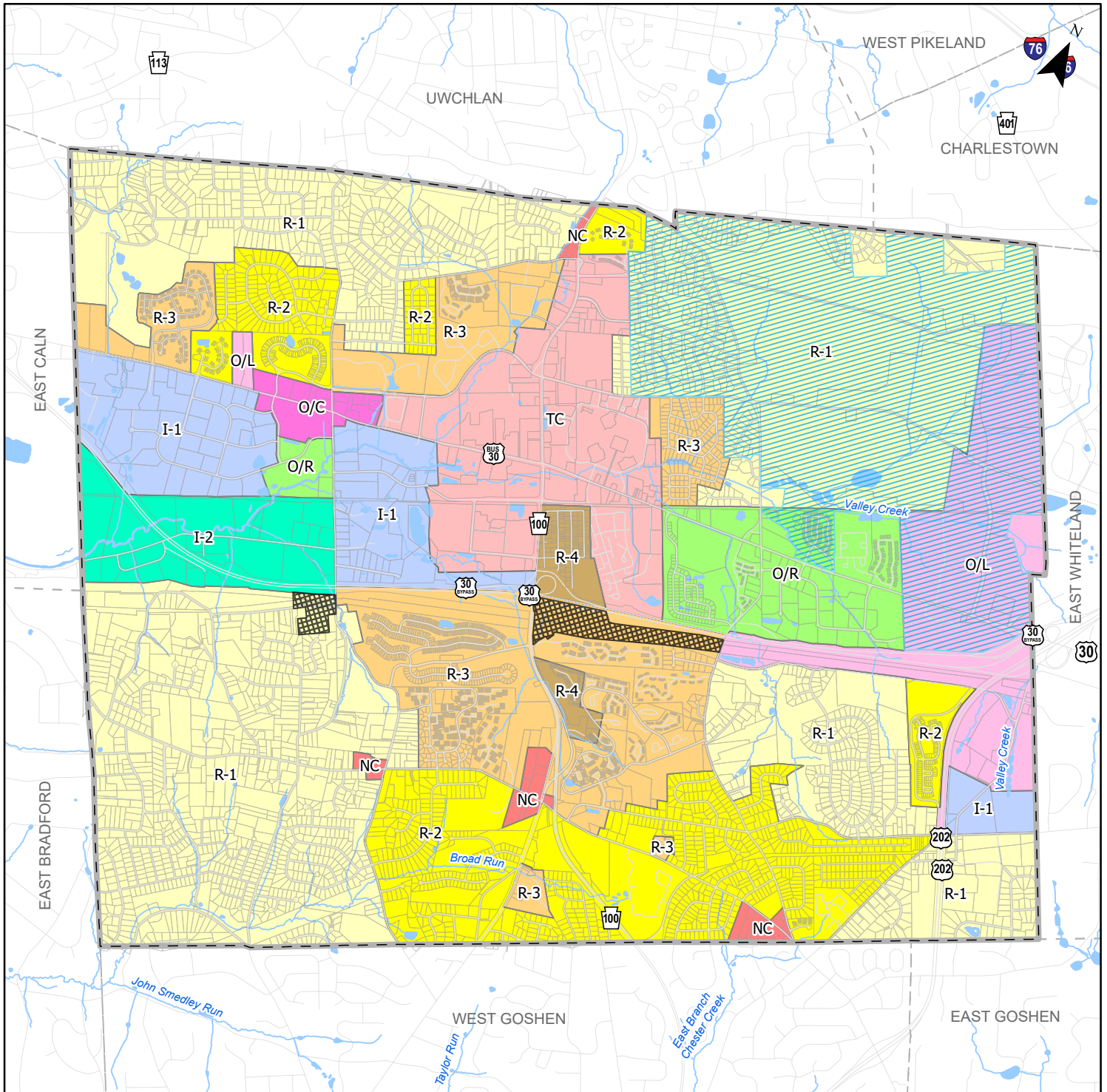
West Whiteland Township, PA  
Comprehensive Plan 2026



-  Estimated tax parcels
-  Roads
-  Water bodies
-  Streams
-  Township boundary
-  Adjacent municipal boundaries
-  Impaired streams
-  Wetlands
-  100-year floodplain
-  500-year floodplain
-  Watersheds

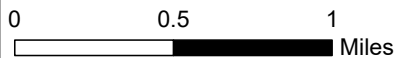
Data Source: Base data from Chester County Geographic Information Services, 2025; Impaired streams data from PA DEP, 2016; Wetland data from US Fish and Wildlife, 2019; Floodplain data from FEMA, 2017.

Prepared By: Chester County Planning Commission, 11/14/2025



# Zoning

West Whiteland Township, PA  
Comprehensive Plan 2026



- Estimated Tax Parcels
- Roads
- Water bodies
- Streams
- Township boundary
- Adjacent municipal boundaries

- I-1 - Limited Industrial (517.6 acres)
- I-2 - General Industrial (283.6 acres)
- NC - Neighborhood Commercial (59.6 acres)
- O/C - Office/Commercial (63.7 acres)
- O/L - Office/Laboratory (658.5 acres)
- O/R - Office/Residential (405.2 acres)

- R-1 - Residential (3,405.2 acres)
- R-2 - Residential (1,095.7 acres)
- R-3 - Residential (1,044.2 acres)
- R-4 - Residential (93.9 acres)
- TC - Town Center Mixed Use (643.0 acres)
- Unified Overlay (1,375.5 acres)
- Rail Transit Overlay (64.0 acres)

Data Source: Base data from Chester County Planning Commission, 2025; Zoning from West Whiteland Township, 2025.

Prepared By: Chester County Planning Commission, 11/14/2025



|                                     |                               |    |                   |
|-------------------------------------|-------------------------------|----|-------------------|
| <b>DATE 03/25/2026</b>              | <b>VOID CHK# 70769</b>        |    |                   |
| <b>GENERAL FUND</b>                 |                               | \$ | (14,882.84)       |
| <b>SEWER FUND</b>                   |                               | \$ | (84.53)           |
| <b>SUBTOTAL</b>                     |                               | \$ | (14,967.37)       |
| <b>DATE 03/25/2026</b>              | <b>RE-ISSUE CHECK # 70838</b> |    | <b>20260326</b>   |
| <b>GENERAL FUND</b>                 |                               | \$ | 14,882.84         |
| <b>SEWER FUND</b>                   |                               | \$ | 84.53             |
| <b>SUBTOTAL</b>                     |                               | \$ | 14,967.37         |
| <b>DATE 03/31/2026</b>              | <b>VOID CHK# 70542</b>        |    |                   |
| <b>LIQUID FUELS FUND</b>            |                               | \$ | (12,852.61)       |
| <b>SUBTOTAL</b>                     |                               | \$ | (12,852.61)       |
| <b>DATE 03/31/2026</b>              | <b>VOID CHK# 70651</b>        |    |                   |
| <b>LIQUID FUELS FUND</b>            |                               | \$ | (38,618.25)       |
| <b>SUBTOTAL</b>                     |                               | \$ | (38,618.25)       |
| <b>DATE 03/31/2026</b>              | <b>RE-ISSUE CHECK # 70837</b> |    | <b>20260331</b>   |
| <b>LIQUID FUELS FUND</b>            |                               | \$ | 51,470.86         |
| <b>SUBTOTAL</b>                     |                               | \$ | 51,470.86         |
| <b>DATE 04/08/2026</b>              | <b>CHECK # 70839 TO 70900</b> |    | <b>20260408</b>   |
| <b>GENERAL FUND</b>                 |                               | \$ | 89,548.73         |
| <b>SEWER FUND</b>                   |                               | \$ | 26,000.17         |
| <b>LIQUID FUELS FUND</b>            |                               | \$ | 5,919.50          |
| <b>POST RETIREMENT MEDICAL FUND</b> |                               | \$ | 1,070.52          |
| <b>PUBLIC SERVICE FUND</b>          |                               | \$ | 15,227.62         |
| <b>TECHNOLOGY FUND</b>              |                               | \$ | 29,238.55         |
| <b>SUBTOTAL</b>                     |                               | \$ | 167,005.09        |
| <b>DATE 03/27/2026</b>              | <b>BMO PROCUREMENT CARD</b>   |    | <b>P_260327</b>   |
| <b>GENERAL FUND</b>                 |                               | \$ | 5,489.42          |
| <b>PUBLIC SERVICE FUND</b>          |                               | \$ | 1,637.07          |
| <b>TECHNOLOGY FUND</b>              |                               | \$ | 520.14            |
| <b>SUBTOTAL</b>                     |                               | \$ | 7,646.63          |
| <b>TOTAL</b>                        |                               | \$ | <b>174,651.72</b> |

**APPROVED BY THE BOARD OF SUPERVISORS**

\_\_\_\_\_  
DATE

\_\_\_\_\_  
BRIAN DUNN

\_\_\_\_\_  
RAJESH KUMBHARDARE

\_\_\_\_\_  
LIBBY MADARASZ

## VENDOR INVOICE LIST

| INVOICE                    | P.O. | INV DATE    | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE   | TYPE | STS | DESCR  |
|----------------------------|------|-------------|---------|----------|---------|-------------|-------------|------------|------|-----|--------|
| 86 AQUA PENNSYLVANIA, INC. |      |             |         |          |         |             |             |            |      |     |        |
| 14875310415059             | 2603 | 03/12/2026  | 110087  | 20260326 | 70838   | 259.99      | 259.99      | 03/25/2026 | INV  | PD  | 101 Co |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
| 14875310624930             | 2603 | 03/12/2026  | 110084  | 20260326 | 70838   | 276.82      | 276.82      | 03/25/2026 | INV  | PD  | 101 CO |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
| 310030 0310030             | 2602 | 03/02/2026  | 109880  | 20260326 | 70838   | 5,305.48    | 5,305.48    | 03/25/2026 | INV  | PD  | HYDRAN |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
| 310098 0706129             | 2602 | 03/02/2026  | 109879  | 20260326 | 70838   | 7,859.68    | 7,859.68    | 03/25/2026 | INV  | PD  | HYDRAN |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
| 3109631515908              | 2603 | 03/12/2026  | 110083  | 20260326 | 70838   | 414.46      | 414.46      | 03/25/2026 | INV  | PD  | 121 VA |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
| 3109631515910              | 2603 | 03/12/2026  | 110085  | 20260326 | 70838   | 453.45      | 453.45      | 03/25/2026 | INV  | PD  | 121 VA |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
| 3109640310964              | 2603 | 03/12/2026  | 110086  | 20260326 | 70838   | 112.11      | 112.11      | 03/25/2026 | INV  | PD  | MILLER |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
| 3109641485725              | 2603 | 03/12/2026  | 110081  | 20260326 | 70838   | 200.85      | 200.85      | 03/25/2026 | INV  | PD  | EXTON  |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
| 5310140378105              | 2601 | 01/07/2026  | 109884  | 20260326 | 70838   | 34.88       | 34.88       | 03/25/2026 | INV  | PD  | WWPS - |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
| 5310140378105              | 2602 | 02/09/2026  | 109885  | 20260326 | 70838   | 26.53       | 26.53       | 03/25/2026 | INV  | PD  | WWPS - |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
| 5310140378105              | 2603 | 02/16/2026  | 109886  | 20260326 | 70838   | 23.12       | 23.12       | 03/25/2026 | INV  | PD  | WWPS - |
|                            |      | CHECK DATE: |         |          |         |             |             |            |      |     |        |
|                            |      | 03/25/2026  |         |          |         |             |             |            |      |     |        |
|                            |      |             |         |          |         | 14,967.37   |             |            |      |     |        |
| 11 INVOICES                |      |             |         |          |         | 14,967.37   |             |            |      |     |        |

\*\* END OF REPORT - Generated by ASHLEA BULLOCK \*\*

VENDOR INVOICE LIST

| INVOICE                            | P. O.  | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID     | AMOUNT     | DUE DATE | TYPE | STS  | INVOICE DESCRIPTION |
|------------------------------------|--------|------------|---------|----------|---------|-------------|----------|------------|----------|------|------|---------------------|
| 194 CHEMICAL EQUIPMENT LABS OF DE. |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7133931                            | 260005 | 01/13/2026 | 109449  | 20260331 | 70837   | 1,462.54    | 1,462.54 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7133932                            | 260005 | 01/13/2026 | 109450  | 20260331 | 70837   | 1,621.96    | 1,621.96 | 02/13/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7133933                            | 260005 | 01/12/2026 | 109441  | 20260331 | 70837   | 1,691.71    | 1,691.71 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7133934                            | 260005 | 01/12/2026 | 109443  | 20260331 | 70837   | 1,725.16    | 1,725.16 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7133936                            | 260005 | 01/15/2026 | 109451  | 20260331 | 70837   | 1,508.80    | 1,508.80 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7133937                            | 260005 | 01/14/2026 | 109444  | 20260331 | 70837   | 1,464.68    | 1,464.68 | 02/14/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7133938                            | 260005 | 01/14/2026 | 109445  | 20260331 | 70837   | 1,505.25    | 1,505.25 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7133939                            | 260005 | 01/14/2026 | 109446  | 20260331 | 70837   | 1,508.80    | 1,508.80 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7134734                            | 260005 | 01/21/2026 | 109140  | 20260331 | 70837   | 1,681.75    | 1,681.75 | 02/11/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7134735                            | 260005 | 01/23/2026 | 109452  | 20260331 | 70837   | 1,479.62    | 1,479.62 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7134736                            | 260005 | 01/23/2026 | 109453  | 20260331 | 70837   | 1,483.18    | 1,483.18 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7134737                            | 260005 | 01/21/2026 | 109142  | 20260331 | 70837   | 1,672.50    | 1,672.50 | 02/11/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7134739                            | 260005 | 01/21/2026 | 109143  | 20260331 | 70837   | 1,686.02    | 1,686.02 | 02/11/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7134740                            | 260005 | 01/23/2026 | 109454  | 20260331 | 70837   | 1,428.38    | 1,428.38 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7134741                            | 260005 | 01/23/2026 | 109455  | 20260331 | 70837   | 1,446.89    | 1,446.89 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7134742                            | 260005 | 01/23/2026 | 109456  | 20260331 | 70837   | 1,444.04    | 1,444.04 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7134743                            | 260005 | 01/23/2026 | 109457  | 20260331 | 70837   | 1,536.56    | 1,536.56 | 02/25/2026 | INV      | PD   | 2026 | Rock Salt - West    |
| CHECK DATE: 04/03/2026             |        |            |         |          |         |             |          |            |          |      |      |                     |
| 7134744                            | 260005 | 01/29/2026 | 109179  | 20260331 | 70837   | 1,522.33    | 1,522.33 | 02/11/2026 | INV      | PD   | 2026 | Rock Salt - West    |

VENDOR INVOICE LIST

| INVOICE     | P. O.      | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE   | TYPE | STS | INVOICE DESCRIPTION   |
|-------------|------------|------------|---------|----------|---------|-------------|-------------|------------|------|-----|-----------------------|
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7134745     | 260005     | 01/23/2026 | 109458  | 20260331 | 70837   | 1,474.64    | 1,474.64    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7134746     | 260005     | 01/23/2026 | 109459  | 20260331 | 70837   | 1,433.36    | 1,433.36    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135622     | 260005     | 01/23/2026 | 109460  | 20260331 | 70837   | 1,661.82    | 1,661.82    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135623     | 260005     | 01/30/2026 | 109247  | 20260331 | 70837   | 1,427.67    | 1,427.67    | 02/11/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135624     | 260005     | 02/03/2026 | 109334  | 20260331 | 70837   | 1,668.22    | 1,668.22    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135625     | 260005     | 01/23/2026 | 109461  | 20260331 | 70837   | 1,635.49    | 1,635.49    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135626     | 260005     | 01/30/2026 | 109249  | 20260331 | 70837   | 1,725.87    | 1,725.87    | 02/11/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135628     | 260005     | 01/30/2026 | 109251  | 20260331 | 70837   | 1,672.50    | 1,672.50    | 02/11/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135629     | 260005     | 01/23/2026 | 109462  | 20260331 | 70837   | 1,599.19    | 1,599.19    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135630     | 260005     | 01/23/2026 | 109463  | 20260331 | 70837   | 1,476.07    | 1,476.07    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135631     | 260005     | 01/23/2026 | 109466  | 20260331 | 70837   | 1,575.70    | 1,575.70    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135632     | 260005     | 01/23/2026 | 109467  | 20260331 | 70837   | 1,639.05    | 1,639.05    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135633     | 260005     | 01/23/2026 | 109468  | 20260331 | 70837   | 1,616.98    | 1,616.98    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135634     | 260005     | 01/23/2026 | 109469  | 20260331 | 70837   | 1,530.16    | 1,530.16    | 02/25/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
| 7135635     | 260005     | 01/27/2026 | 109163  | 20260331 | 70837   | 1,463.97    | 1,463.97    | 02/11/2026 | INV  | PD  | 2026 Rock Salt - west |
| CHECK DATE: | 04/03/2026 |            |         |          |         |             |             |            |      |     |                       |
|             |            |            |         |          |         | 51,470.86   |             |            |      |     |                       |
| 33 INVOICES |            |            |         |          |         | 51,470.86   |             |            |      |     |                       |

VENDOR INVOICE LIST

| INVOICE | P.O. | INV DATE | VOUCHER | WARRANT | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE | TYPE | STS | INVOICE DESCRIPTION |
|---------|------|----------|---------|---------|---------|-------------|-------------|----------|------|-----|---------------------|
|---------|------|----------|---------|---------|---------|-------------|-------------|----------|------|-----|---------------------|

\*\* END OF REPORT - Generated by ASHLEA BULLOCK \*\*

VENDOR INVOICE LIST

| INVOICE                             | P.O.   | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE   | TYPE | STS | DESCR  |
|-------------------------------------|--------|------------|---------|----------|---------|-------------|-------------|------------|------|-----|--------|
| 3 21ST CENTURY MEDIA PHILLY CLUSTER |        |            |         |          |         |             |             |            |      |     |        |
| Ad2798657&072&071                   |        | 03/30/2026 | 110211  | 20260408 | 70839   | 1,605.57    | 1,605.57    | 04/08/2026 | INV  | PD  | Legal  |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
| 785 Advance Auto Parts              |        |            |         |          |         |             |             |            |      |     |        |
| 9916607820801                       |        | 03/19/2026 | 110140  | 20260408 | 70840   | 22.76       | 22.76       | 04/08/2026 | INV  | PD  | wiper  |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
| 9916607915423                       |        | 03/20/2026 | 110139  | 20260408 | 70840   | 16.39       | 16.39       | 04/08/2026 | INV  | PD  | Filter |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
| 9916608315601                       |        | 03/24/2026 | 110167  | 20260408 | 70840   | 22.76       | 22.76       | 04/08/2026 | INV  | PD  | wiper  |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
| 9916608521034                       |        | 03/26/2026 | 110178  | 20260408 | 70840   | 60.90       | 60.90       | 04/08/2026 | INV  | PD  | oil an |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
| 9916608615271                       |        | 03/27/2026 | 110196  | 20260408 | 70840   | 12.86       | 12.86       | 04/08/2026 | INV  | PD  | Drain  |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
| 9916608615712                       |        | 03/27/2026 | 110197  | 20260408 | 70840   | 26.49       | 26.49       | 04/08/2026 | INV  | PD  | wax fo |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
|                                     |        |            |         |          |         | 162.16      |             |            |      |     |        |
| 1522 ADVANCED LOCK & SECURITY       |        |            |         |          |         |             |             |            |      |     |        |
| 123076                              |        | 03/24/2026 | 110166  | 20260408 | 70841   | 285.00      | 285.00      | 04/08/2026 | INV  | PD  | Lock R |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
| 40 AETNA                            |        |            |         |          |         |             |             |            |      |     |        |
| 04.01.26-04.30.26                   |        | 03/30/2026 | 110218  | 20260408 | 70842   | 592.83      | 592.83      | 04/08/2026 | INV  | PD  | Post-r |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
| 1819 Alexis Canale                  |        |            |         |          |         |             |             |            |      |     |        |
| CASNALE3.30.26                      |        | 03/30/2026 | 110209  | 20260408 | 70843   | 324.48      | 324.48      | 04/08/2026 | INV  | PD  | JNET T |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
| 84 APPLIED VIDEO TECHNOLOGY INC     |        |            |         |          |         |             |             |            |      |     |        |
| 29398                               | 260064 | 03/23/2026 | 110184  | 20260408 | 70844   | 1,332.52    | 1,332.52    | 04/08/2026 | INV  | PD  | New Mi |
| CHECK DATE: 04/08/2026              |        |            |         |          |         |             |             |            |      |     |        |
| 86 AQUA PENNSYLVANIA, INC.          |        |            |         |          |         |             |             |            |      |     |        |

VENDOR INVOICE LIST

| INVOICE                                  | P.O. | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID | AMOUNT   | DUE DATE   | TYPE | STS | DESCR  |
|--|------|------------|---------|----------|---------|-------------|------|----------|------------|------|-----|--------|
| 3001380300138                            | 2603 | 03/17/2026 | 110150  | 20260408 | 70845   | 163.28      |      | 163.28   | 04/08/2026 | INV  | PD  | GMPS - |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| 3109641482832                            | 2603 | 03/17/2026 | 110151  | 20260408 | 70845   | 178.90      |      | 178.90   | 04/08/2026 | INV  | PD  | 71 W B |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| 5402960389744                            | 2603 | 03/17/2026 | 110148  | 20260408 | 70845   | 78.26       |      | 78.26    | 04/08/2026 | INV  | PD  | 110 W  |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| WH-5856809                               |      | 03/19/2026 | 110116  | 20260408 | 70846   | 184.50      |      | 184.50   | 04/08/2026 | INV  | PD  | UB WAT |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| WH-6026257                               |      | 03/19/2026 | 110115  | 20260408 | 70846   | 183.00      |      | 183.00   | 04/08/2026 | INV  | PD  | UB WAT |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| 1229 ARRO Consulting Inc.                |      |            |         |          |         | 787.94      |      |          |            |      |     |        |
| 0117675                                  |      | 03/17/2026 | 110156  | 20260408 | 70847   | 3,926.81    |      | 3,926.81 | 04/08/2026 | INV  | PD  | Profes |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| 166 BUCKMAN'S INC.                       |      |            |         |          |         |             |      |          |            |      |     |        |
| 906937                                   |      | 03/16/2026 | 110092  | 20260408 | 70848   | 866.58      |      | 866.58   | 04/08/2026 | INV  | PD  | WWPS H |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| 183 CARROLL ENGINEERING CORPORATION      |      |            |         |          |         |             |      |          |            |      |     |        |
| 248806                                   |      | 09/05/2025 | 110147  | 20260408 | 70849   | 85.00       |      | 85.00    | 04/08/2026 | INV  | PD  | ACT 53 |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| 205 CHESTER COUNTY SOLID WASTE AUTHORITY |      |            |         |          |         |             |      |          |            |      |     |        |
| 2413876                                  |      | 03/19/2026 | 110111  | 20260408 | 70850   | 219.24      |      | 219.24   | 04/08/2026 | INV  | PD  | Waste  |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| 217 CIVIC PLUS                           |      |            |         |          |         |             |      |          |            |      |     |        |
| 352566                                   |      | 02/28/2026 | 110129  | 20260408 | 70851   | 4,725.00    |      | 4,725.00 | 04/08/2026 | INV  | PD  | ANNUAL |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| 224 CMI INC.                             |      |            |         |          |         |             |      |          |            |      |     |        |
| 8079692                                  |      | 03/20/2026 | 110120  | 20260408 | 70852   | 925.00      |      | 925.00   | 04/08/2026 | INV  | PD  | Annual |
| CHECK DATE: 04/08/2026                   |      |            |         |          |         |             |      |          |            |      |     |        |
| 243 COMMONWEALTH PRECAST INC             |      |            |         |          |         |             |      |          |            |      |     |        |

## VENDOR INVOICE LIST

| INVOICE                                 | P.O.   | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE   | TYPE | STS | DESCR  |
|---|--------|------------|---------|----------|---------|-------------|-------------|------------|------|-----|--------|
| 31648                                   | 260063 | 03/20/2026 | 110165  | 20260408 | 70853   | 4,640.00    | 4,640.00    | 04/08/2026 | INV  | PD  | Storm  |
| CHECK DATE: 04/08/2026                  |        |            |         |          |         |             |             |            |      |     |        |
| 297 DELAWARE VALLEY WORKERS' COMP TRUST |        |            |         |          |         |             |             |            |      |     |        |
| WCPREM26-WWHITE2                        |        | 04/01/2026 | 110146  | 20260408 | 70854   | 37,387.25   | 37,387.25   | 04/08/2026 | INV  | PD  | DVTWC  |
| CHECK DATE: 04/08/2026                  |        |            |         |          |         |             |             |            |      |     |        |
| 746 DEPARTMENT OF LABOR & INDUSTRY      |        |            |         |          |         |             |             |            |      |     |        |
| 1268450                                 |        | 02/28/2026 | 110094  | 20260408 | 70855   | 369.32      | 369.32      | 04/08/2026 | INV  | PD  | Boiler |
| CHECK DATE: 04/08/2026                  |        |            |         |          |         |             |             |            |      |     |        |
| 1161 DSC Solutions                      |        |            |         |          |         |             |             |            |      |     |        |
| 69066                                   |        | 10/31/2025 | 110169  | 20260408 | 70856   | 1,088.00    | 1,088.00    | 04/08/2026 | INV  | PD  | window |
| CHECK DATE: 04/08/2026                  |        |            |         |          |         |             |             |            |      |     |        |
| INV2438                                 |        | 03/20/2026 | 110132  | 20260408 | 70856   | 2,245.00    | 2,245.00    | 04/04/2026 | INV  | PD  | Cleani |
| CHECK DATE: 04/08/2026                  |        |            |         |          |         |             |             |            |      |     |        |
| 1816 Duff Company                       |        |            |         |          |         |             |             |            |      |     |        |
| S100197303.001                          |        | 03/25/2026 | 110206  | 20260408 | 70857   | 188.24      | 188.24      | 04/08/2026 | INV  | PD  | Conden |
| CHECK DATE: 04/08/2026                  |        |            |         |          |         |             |             |            |      |     |        |
| 540 Electrical Plus LLC                 |        |            |         |          |         |             |             |            |      |     |        |
| 27256                                   |        | 03/11/2026 | 110142  | 20260408 | 70858   | 225.00      | 225.00      | 04/08/2026 | INV  | PD  | Electr |
| CHECK DATE: 04/08/2026                  |        |            |         |          |         |             |             |            |      |     |        |
| 378 FBINAAEASTERN PA CHAPTER            |        |            |         |          |         |             |             |            |      |     |        |
| 612310                                  |        | 03/27/2026 | 110191  | 20260408 | 70859   | 150.00      | 150.00      | 04/08/2026 | INV  | PD  | Annual |
| CHECK DATE: 04/08/2026                  |        |            |         |          |         |             |             |            |      |     |        |
| 1818 FOP Lodge # 37                     |        |            |         |          |         |             |             |            |      |     |        |
| 289                                     |        | 03/30/2026 | 110203  | 20260408 | 70860   | 365.50      | 365.50      | 04/08/2026 | INV  | PD  | PA Pol |
| CHECK DATE: 04/08/2026                  |        |            |         |          |         |             |             |            |      |     |        |
| 1514 GATEWAY ENGINEERS                  |        |            |         |          |         |             |             |            |      |     |        |
| Invoice 376575                          |        | 03/26/2026 | 110224  | 20260408 | 70861   | 10,562.25   | 10,562.25   | 04/08/2026 | INV  | PD  | Traisr |
| CHECK DATE: 04/08/2026                  |        |            |         |          |         |             |             |            |      |     |        |

VENDOR INVOICE LIST

| INVOICE                          | P.O.   | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE   | TYPE | STS | DESCR  |
|----------------------------------|--------|------------|---------|----------|---------|-------------|-------------|------------|------|-----|--------|
| 436 GOOD FELLOWSHIP AMBULANCE    |        |            |         |          |         |             |             |            |      |     |        |
| 177900127                        | 260060 | 03/20/2026 | 110119  | 20260408 | 70862   | 1,275.00    | 1,275.00    | 04/08/2026 | INV  | PD  | First  |
| CHECK DATE: 04/08/2026           |        |            |         |          |         |             |             |            |      |     |        |
| 450 GREATAMERICA FINANCIAL SVCS. |        |            |         |          |         |             |             |            |      |     |        |
| 41596262                         |        | 03/27/2026 | 110013  | 20260408 | 70863   | 775.00      | 775.00      | 04/08/2026 | INV  | PD  | COPIER |
| CHECK DATE: 04/08/2026           |        |            |         |          |         |             |             |            |      |     |        |
| 806 Groff Tractor & Equipment    |        |            |         |          |         |             |             |            |      |     |        |
| PSO619043-1                      |        | 03/18/2026 | 110099  | 20260408 | 70864   | 330.90      | 330.90      | 04/08/2026 | INV  | PD  | window |
| CHECK DATE: 04/08/2026           |        |            |         |          |         |             |             |            |      |     |        |
| 504 INCARCERATE INC.             |        |            |         |          |         |             |             |            |      |     |        |
| 031626ALDRICH                    |        | 03/16/2026 | 110172  | 20260408 | 70865   | 176.98      | 176.98      | 04/08/2026 | INV  | PD  | PRISON |
| CHECK DATE: 04/08/2026           |        |            |         |          |         |             |             |            |      |     |        |
| 1319 JADE I REESE                |        |            |         |          |         |             |             |            |      |     |        |
| Feb 2026                         |        | 03/20/2026 | 110126  | 20260408 | 70866   | 1,364.50    | 1,364.50    | 04/08/2026 | INV  | PD  | ZHB -  |
| CHECK DATE: 04/08/2026           |        |            |         |          |         |             |             |            |      |     |        |
| 1820 KBC Construction LLC        |        |            |         |          |         |             |             |            |      |     |        |
| 1165                             |        | 03/21/2026 | 110216  | 20260408 | 70867   | 850.00      | 850.00      | 04/08/2026 | INV  | PD  | Exton  |
| CHECK DATE: 04/08/2026           |        |            |         |          |         |             |             |            |      |     |        |
| 570 KELLY INDUSTRIAL SUPPLY      |        |            |         |          |         |             |             |            |      |     |        |
| 2201884-IN                       |        | 02/04/2026 | 110089  | 20260408 | 70868   | 242.71      | 242.71      | 04/08/2026 | INV  | PD  | Shop H |
| CHECK DATE: 04/08/2026           |        |            |         |          |         |             |             |            |      |     |        |
| 2202526-IN                       |        | 03/20/2026 | 110131  | 20260408 | 70868   | 255.05      | 255.05      | 04/08/2026 | INV  | PD  | Shop H |
| CHECK DATE: 04/08/2026           |        |            |         |          |         |             |             |            |      |     |        |
| 576 KEYSTONE FIRE PROTECTION CO. |        |            |         |          |         |             |             |            |      |     |        |
| 8100191                          |        | 03/16/2026 | 110095  | 20260408 | 70869   | 349.50      | 349.50      | 04/08/2026 | INV  | PD  | Fire A |
| CHECK DATE: 04/08/2026           |        |            |         |          |         |             |             |            |      |     |        |
| 1172 KILKENNY LAW LLC            |        |            |         |          |         |             |             |            |      |     |        |

497.76

VENDOR INVOICE LIST

| INVOICE                        | P.O. | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE   | TYPE | STS | DESCR  |
|--------------------------------|------|------------|---------|----------|---------|-------------|-------------|------------|------|-----|--------|
| 18188                          |      | 04/02/2026 | 110245  | 20260408 | 70870   | 5,567.00    | 5,567.00    | 04/08/2026 | INV  | PD  | GENERA |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18189                          |      | 04/02/2026 | 110246  | 20260408 | 70870   | 234.00      | 234.00      | 04/08/2026 | INV  | PD  | ZHB MA |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18190                          |      | 04/02/2026 | 110247  | 20260408 | 70870   | 180.00      | 180.00      | 04/08/2026 | INV  | PD  | RTK RE |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18191                          |      | 04/02/2026 | 110248  | 20260408 | 70870   | 72.00       | 72.00       | 04/08/2026 | INV  | PD  | 690 E  |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18192                          |      | 04/02/2026 | 110249  | 20260408 | 70870   | 594.00      | 594.00      | 04/08/2026 | INV  | PD  | 930-93 |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18193                          |      | 04/02/2026 | 110250  | 20260408 | 70870   | 72.00       | 72.00       | 04/08/2026 | INV  | PD  | BT EXT |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18194                          |      | 04/02/2026 | 110251  | 20260408 | 70870   | 72.00       | 72.00       | 04/08/2026 | INV  | PD  | 4 TABA |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18195                          |      | 04/02/2026 | 110252  | 20260408 | 70870   | 522.00      | 522.00      | 04/08/2026 | INV  | PD  | 1375 O |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18196                          |      | 04/02/2026 | 110253  | 20260408 | 70870   | 774.00      | 774.00      | 04/08/2026 | INV  | PD  | EXTON  |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18197                          |      | 04/02/2026 | 110254  | 20260408 | 70870   | 738.00      | 738.00      | 04/08/2026 | INV  | PD  | MAIN S |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18198                          |      | 04/02/2026 | 110255  | 20260408 | 70870   | 234.00      | 234.00      | 04/08/2026 | INV  | PD  | 1364 G |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18357                          |      | 04/02/2026 | 110256  | 20260408 | 70870   | 4,410.00    | 4,410.00    | 04/08/2026 | INV  | PD  | GENERA |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18358                          |      | 04/02/2026 | 110257  | 20260408 | 70870   | 144.00      | 144.00      | 04/08/2026 | INV  | PD  | TAX AS |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18359                          |      | 04/02/2026 | 110258  | 20260408 | 70870   | 144.00      | 144.00      | 04/08/2026 | INV  | PD  | ZHB MA |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18360                          |      | 04/02/2026 | 110259  | 20260408 | 70870   | 1,080.00    | 1,080.00    | 04/08/2026 | INV  | PD  | RTK RE |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
| 18365                          |      | 04/02/2026 | 110260  | 20260408 | 70870   | 72.00       | 72.00       | 04/08/2026 | INV  | PD  | 4 TABA |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |
|                                |      |            |         |          |         | 14,909.00   |             |            |      |     |        |
| 583 KNOX EQUIPMENT RENTALS INC |      |            |         |          |         |             |             |            |      |     |        |
| 180759.1.1                     |      | 03/23/2026 | 110180  | 20260408 | 70871   | 83.40       | 83.40       | 04/08/2026 | INV  | PD  | white  |
| CHECK DATE: 04/08/2026         |      |            |         |          |         |             |             |            |      |     |        |

## VENDOR INVOICE LIST

| INVOICE                                  | P.O.   | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE   | TYPE | STS | DESCR  |
|--|--------|------------|---------|----------|---------|-------------|-------------|------------|------|-----|--------|
| 180821.1.3                               |        | 03/24/2026 | 110207  | 20260408 | 70871   | 275.00      | 275.00      | 04/24/2026 | INV  | PD  | Stump  |
| CHECK DATE: 04/08/2026                   |        |            |         |          |         |             |             |            |      |     |        |
|  |        |            |         |          |         | 358.40      |             |            |      |     |        |
| 1214 LAFAYETTE COLLEGE                   |        |            |         |          |         |             |             |            |      |     |        |
| L04441539                                |        | 09/30/2025 | 110143  | 20260408 | 70872   | 593.75      | 593.75      | 04/08/2026 | INV  | PD  | EMERGE |
| CHECK DATE: 04/08/2026                   |        |            |         |          |         |             |             |            |      |     |        |
| 633 MAILLIE LLP                          |        |            |         |          |         |             |             |            |      |     |        |
| 127108                                   |        | 02/28/2026 | 110098  | 20260408 | 70873   | 5,000.00    | 5,000.00    | 04/08/2026 | INV  | PD  | FINAL  |
| CHECK DATE: 04/08/2026                   |        |            |         |          |         |             |             |            |      |     |        |
| 1272 MAIN LINE CONCRETE & SUPPLY         |        |            |         |          |         |             |             |            |      |     |        |
| 564321                                   |        | 03/27/2026 | 110208  | 20260408 | 70874   | 135.00      | 135.00      | 04/27/2026 | INV  | PD  | Concre |
| CHECK DATE: 04/08/2026                   |        |            |         |          |         |             |             |            |      |     |        |
| 69997                                    |        | 03/27/2026 | 110226  | 20260408 | 70874   | -72.00      | -72.00      | 04/08/2026 | CRM  | PD  | CREDIT |
| CHECK DATE: 04/08/2026                   |        |            |         |          |         |             |             |            |      |     |        |
|  |        |            |         |          |         | 63.00       |             |            |      |     |        |
| 657 MC GOVERN ENVIRONMENTAL LLC          |        |            |         |          |         |             |             |            |      |     |        |
| 2284430                                  | 260003 | 03/24/2026 | 110168  | 20260408 | 70875   | 4,346.38    | 4,346.38    | 04/08/2026 | INV  | PD  | 2026 W |
| CHECK DATE: 04/08/2026                   |        |            |         |          |         |             |             |            |      |     |        |
| 659 MCDONALD UNIFORM CO.                 |        |            |         |          |         |             |             |            |      |     |        |
| 256445                                   | 260054 | 03/20/2026 | 110118  | 20260408 | 70876   | 1,329.38    | 1,329.38    | 04/08/2026 | INV  | PD  | Budget |
| CHECK DATE: 04/08/2026                   |        |            |         |          |         |             |             |            |      |     |        |
| 259141-01                                |        | 03/19/2026 | 110171  | 20260408 | 70876   | 117.78      | 117.78      | 04/08/2026 | INV  | PD  | UNIFOR |
| CHECK DATE: 04/08/2026                   |        |            |         |          |         |             |             |            |      |     |        |
|  |        |            |         |          |         | 1,447.16    |             |            |      |     |        |
| 981 MERIPLEX SOLUTIONS LLC               |        |            |         |          |         |             |             |            |      |     |        |
| 231337                                   |        | 03/20/2026 | 110123  | 20260408 | 70877   | 12,966.30   | 12,966.30   | 04/08/2026 | INV  | PD  | MONTHL |
| CHECK DATE: 04/08/2026                   |        |            |         |          |         |             |             |            |      |     |        |
| 233549                                   |        | 03/20/2026 | 110130  | 20260408 | 70877   | 210.00      | 210.00      | 04/08/2026 | INV  | PD  | SHAREP |
| CHECK DATE: 04/08/2026                   |        |            |         |          |         |             |             |            |      |     |        |
|  |        |            |         |          |         | 13,176.30   |             |            |      |     |        |
| 1529 METROPOLITAN LIFE INSURANCE COMPANY |        |            |         |          |         |             |             |            |      |     |        |

## VENDOR INVOICE LIST

| INVOICE                               | P.O. | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET      | PAID AMOUNT | DUE DATE   | TYPE   | STS | DESCR  |
|---------------------------------------|------|------------|---------|----------|---------|------------------|-------------|------------|--------|-----|--------|
| TM05388148                            | 2603 | 03/16/2026 | 110153  | 20260408 | 70878   | 463.47           | 463.47      | 04/08/2026 | INV PD |     | LONG T |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
| 685 MOTOROLA                          |      |            |         |          |         |                  |             |            |        |     |        |
| 1411240487                            |      | 03/20/2026 | 110173  | 20260408 | 70879   | 582.45           | 582.45      | 04/08/2026 | INV PD |     | SUBSCR |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
| 320 NAPA                              |      |            |         |          |         |                  |             |            |        |     |        |
| 371093                                |      | 03/17/2026 | 110090  | 20260408 | 70880   | 39.99            | 39.99       | 04/08/2026 | INV PD |     | Connec |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
| 1653 PATTERNH IVES LLC                |      |            |         |          |         |                  |             |            |        |     |        |
| 2502.26-02                            |      | 03/24/2026 | 110164  | 20260408 | 70881   | 1,080.00         | 1,080.00    | 04/08/2026 | INV PD |     | Histor |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
| 766 PECO ENERGYGAS                    |      |            |         |          |         |                  |             |            |        |     |        |
| 0111340100                            | 2603 | 03/18/2026 | 110175  | 20260408 | 70882   | 1,961.23         | 1,961.23    | 04/08/2026 | INV PD |     | GMPS - |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
| 1518268000                            | 2602 | 03/24/2026 | 110177  | 20260408 | 70882   | 288.70           | 288.70      | 04/08/2026 | INV PD |     | METER  |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
| 2032862000                            | 2603 | 03/18/2026 | 110109  | 20260408 | 70882   | 7,853.68         | 7,853.68    | 04/08/2026 | INV PD |     | CMPS - |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
| 3646683000                            | 2603 | 03/16/2026 | 110100  | 20260408 | 70882   | 95.09            | 95.09       | 04/08/2026 | INV PD |     | COUNTR |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
| 784 PENSERV PLAN SERVICES             |      |            |         |          |         |                  |             |            |        |     |        |
| 13347462                              |      | 03/24/2026 | 110162  | 20260408 | 70883   | 862.50           | 862.50      | 04/08/2026 | INV PD |     | 457(B) |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
| 864 REMINGTON & VERNICK ENGINEERS INC |      |            |         |          |         |                  |             |            |        |     |        |
| PA152135T002-1                        |      | 01/28/2026 | 109926  | 20260408 | 70884   | 1,122.50         | 1,122.50    | 03/25/2026 | INV PD |     | GENERA |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
| 907 SASS-MOORE SERVICE CORP           |      |            |         |          |         |                  |             |            |        |     |        |
| 95591                                 |      | 03/17/2026 | 110106  | 20260408 | 70885   | 380.00           | 380.00      | 04/08/2026 | INV PD |     | HVAC R |
| CHECK DATE: 04/08/2026                |      |            |         |          |         |                  |             |            |        |     |        |
|                                       |      |            |         |          |         | <b>10,198.70</b> |             |            |        |     |        |

VENDOR INVOICE LIST

| INVOICE                        | P.O.   | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE   | TYPE | STS | DESCR  |
|--------------------------------|--------|------------|---------|----------|---------|-------------|-------------|------------|------|-----|--------|
| 1257 SHANE BARRAR              |        |            |         |          |         |             |             |            |      |     |        |
| 2000144-97551519               |        | 03/16/2026 | 110179  | 20260408 | 70886   | 191.84      | 191.84      | 04/08/2026 | INV  | PD  | Paint  |
| CHECK DATE: 04/08/2026         |        |            |         |          |         |             |             |            |      |     |        |
| 936 SIGNAL SERVICE INC         |        |            |         |          |         |             |             |            |      |     |        |
| 062959                         |        | 01/30/2026 | 110102  | 20260408 | 70887   | 5,092.00    | 5,092.00    | 04/08/2026 | INV  | PD  | Traffi |
| CHECK DATE: 04/08/2026         |        |            |         |          |         |             |             |            |      |     |        |
| 063710                         |        | 03/24/2026 | 110190  | 20260408 | 70887   | 827.50      | 827.50      | 04/08/2026 | INV  | PD  | Traffi |
| CHECK DATE: 04/08/2026         |        |            |         |          |         |             |             |            |      |     |        |
|                                |        |            |         |          |         | 5,919.50    |             |            |      |     |        |
| 1189 Sons of Liberty Gun Works |        |            |         |          |         |             |             |            |      |     |        |
| LE31201                        |        | 07/29/2025 | 110200  | 20260408 | 70888   | 1,245.00    | 1,245.00    | 04/08/2026 | INV  | PD  | New Hi |
| CHECK DATE: 04/08/2026         |        |            |         |          |         |             |             |            |      |     |        |
| LE34183                        | 260042 | 03/27/2026 | 110192  | 20260408 | 70888   | 1,245.00    | 1,245.00    | 04/08/2026 | INV  | PD  | New Hi |
| CHECK DATE: 04/08/2026         |        |            |         |          |         |             |             |            |      |     |        |
|                                |        |            |         |          |         | 2,490.00    |             |            |      |     |        |
| 946 SPOTTS STEVENS & MCCOY INC |        |            |         |          |         |             |             |            |      |     |        |
| 284415                         |        | 03/05/2026 | 110103  | 20260408 | 70889   | 1,206.50    | 1,206.50    | 04/08/2026 | INV  | PD  | Genera |
| CHECK DATE: 04/08/2026         |        |            |         |          |         |             |             |            |      |     |        |
| 952 STANDARD INSURANCE COMPANY |        |            |         |          |         |             |             |            |      |     |        |
| Standard03.16.2026             |        | 03/30/2026 | 110204  | 20260408 | 70890   | 3,674.57    | 3,674.57    | 04/08/2026 | INV  | PD  | AD&D B |
| CHECK DATE: 04/08/2026         |        |            |         |          |         |             |             |            |      |     |        |
| 1760 TerraSol Energies Inc     |        |            |         |          |         |             |             |            |      |     |        |
| Payment App #1                 | 260044 | 03/20/2026 | 110125  | 20260408 | 70891   | 5,495.00    | 5,495.00    | 04/08/2026 | INV  | PD  | Boot R |
| CHECK DATE: 04/08/2026         |        |            |         |          |         |             |             |            |      |     |        |
| 997 TERRYBERRY USA             |        |            |         |          |         |             |             |            |      |     |        |
| U15000                         |        | 02/02/2026 | 110170  | 20260408 | 70892   | 232.33      | 232.33      | 04/08/2026 | INV  | PD  | SERVIC |
| CHECK DATE: 04/08/2026         |        |            |         |          |         |             |             |            |      |     |        |
| 998 The Artcraft Group Inc.    |        |            |         |          |         |             |             |            |      |     |        |
| 746230                         | 260061 | 03/27/2026 | 110193  | 20260408 | 70893   | 2,925.01    | 2,925.01    | 04/08/2026 | INV  | PD  | Commun |
| CHECK DATE: 04/08/2026         |        |            |         |          |         |             |             |            |      |     |        |

VENDOR INVOICE LIST

| INVOICE                         | P.O.   | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID     | AMOUNT     | DUE DATE | TYPE | STS | DESCR  |
|---------------------------------|--------|------------|---------|----------|---------|-------------|----------|------------|----------|------|-----|--------|
| 1215 TP TRAILERS                |        |            |         |          |         |             |          |            |          |      |     |        |
| 497890                          |        | 03/17/2026 | 110091  | 20260408 | 70894   | 178.36      | 178.36   | 04/08/2026 | INV      | PD   |     | Auger  |
| CHECK DATE: 04/08/2026          |        |            |         |          |         |             |          |            |          |      |     |        |
| 497971                          |        | 03/20/2026 | 110138  | 20260408 | 70894   | 19.92       | 19.92    | 04/08/2026 | INV      | PD   |     | Bearin |
| CHECK DATE: 04/08/2026          |        |            |         |          |         |             |          |            |          |      |     |        |
|                                 |        |            |         |          |         | 198.28      |          |            |          |      |     |        |
| 1084 VERIZON COMMUNICATIONS     |        |            |         |          |         |             |          |            |          |      |     |        |
| 957933293000126                 | 2603   | 02/28/2026 | 110124  | 20260408 | 70895   | 156.88      | 156.88   | 04/08/2026 | INV      | PD   |     | FIOS T |
| CHECK DATE: 04/08/2026          |        |            |         |          |         |             |          |            |          |      |     |        |
| 1752 VINCENT DIMARTINI          |        |            |         |          |         |             |          |            |          |      |     |        |
| 03172026                        |        | 03/17/2026 | 110158  | 20260408 | 70896   | 183.80      | 183.80   | 04/08/2026 | INV      | PD   |     | member |
| CHECK DATE: 04/08/2026          |        |            |         |          |         |             |          |            |          |      |     |        |
| 1222 WEST GOSHEN TOWNSHIP       |        |            |         |          |         |             |          |            |          |      |     |        |
| WGPD03182026-G                  |        | 03/18/2026 | 110176  | 20260408 | 70897   | 84.41       | 84.41    | 04/08/2026 | INV      | PD   |     | CELLEB |
| CHECK DATE: 04/08/2026          |        |            |         |          |         |             |          |            |          |      |     |        |
| 1116 WESTERN PEST SERVICES      |        |            |         |          |         |             |          |            |          |      |     |        |
| 10209896                        |        | 03/01/2026 | 110105  | 20260408 | 70898   | 101.52      | 101.52   | 04/08/2026 | INV      | PD   |     | 101 Co |
| CHECK DATE: 04/08/2026          |        |            |         |          |         |             |          |            |          |      |     |        |
| 10211567                        |        | 03/01/2026 | 110104  | 20260408 | 70898   | 290.00      | 290.00   | 04/08/2026 | INV      | PD   |     | 121 Va |
| CHECK DATE: 04/08/2026          |        |            |         |          |         |             |          |            |          |      |     |        |
|                                 |        |            |         |          |         | 391.52      |          |            |          |      |     |        |
| 1133 WITMER PUBLIC SAFETY GROUP |        |            |         |          |         |             |          |            |          |      |     |        |
| INV859668                       | 260045 | 03/20/2026 | 110199  | 20260408 | 70899   | 999.90      | 999.90   | 04/08/2026 | INV      | PD   |     | Glock  |
| CHECK DATE: 04/08/2026          |        |            |         |          |         |             |          |            |          |      |     |        |
| 1462 YSM LANDSCAPE ARCHITECTS   |        |            |         |          |         |             |          |            |          |      |     |        |
| 8456                            |        | 03/17/2026 | 110145  | 20260408 | 70900   | 9,553.62    | 9,553.62 | 04/08/2026 | INV      | PD   |     | Exton  |
| CHECK DATE: 04/08/2026          |        |            |         |          |         |             |          |            |          |      |     |        |
|                                 |        |            |         |          |         | 167,005.09  |          |            |          |      |     |        |
| 98 INVOICES                     |        |            |         |          |         |             |          |            |          |      |     |        |

VENDOR INVOICE LIST

| INVOICE | P.O. | INV DATE | VOUCHER | WARRANT | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE | TYPE | STS | DESCR |
|---------|------|----------|---------|---------|---------|-------------|-------------|----------|------|-----|-------|
|---------|------|----------|---------|---------|---------|-------------|-------------|----------|------|-----|-------|

\*\* END OF REPORT - Generated by ASHLEA BULLOCK \*\*

VENDOR INVOICE LIST

| INVOICE  | P.O. | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID     | AMOUNT     | DUE DATE | TYPE | STS | INVOICE DESCRIPTION    |
|--|------|------------|---------|----------|---------|-------------|----------|------------|----------|------|-----|------------------------|
| 32 ADOBE SYSTEMS INC.                            |      |            |         |          |         |             |          |            |          |      |     |                        |
| Adobe03.13.2026                                  |      | 03/18/2026 | 110096  | P_260327 | 785     | 717.90      | 717.90   | 04/06/2026 | DIR      | PD   |     | Monthly Subscription   |
| CHECK DATE: 04/06/2026                           |      |            |         |          |         |             |          |            |          |      |     |                        |
| 1801 Apple Inc.                                  |      |            |         |          |         |             |          |            |          |      |     |                        |
| W1413994356 CM                                   |      | 02/20/2026 | 110279  | P_260327 | 810     | -197.76     | -197.76  | 04/08/2026 | CRM      | PD   |     | REFUND FOR SALES TAX   |
| CHECK DATE: 04/06/2026                           |      |            |         |          |         |             |          |            |          |      |     |                        |
| 184 CHESTER CO ASSOCIATION OF TOWNSHIP OFFICIALS |      |            |         |          |         |             |          |            |          |      |     |                        |
| 1031-5939  |      | 03/20/2026 | 110121  | P_260327 | 800     | 150.00      | 150.00   | 04/06/2026 | DIR      | PD   |     | CCATO Lunch at PSATS   |
| CHECK DATE: 04/06/2026                           |      |            |         |          |         |             |          |            |          |      |     |                        |
| 1622-8007  |      | 03/20/2026 | 110205  | P_260327 | 798     | 25.00       | 25.00    | 04/06/2026 | DIR      | PD   |     | Training               |
| CHECK DATE: 03/27/2026                           |      |            |         |          |         |             |          |            |          |      |     |                        |
|  |      |            |         |          |         | 175.00      |          |            |          |      |     |                        |
| 207 COUNTY OF CHESTER                            |      |            |         |          |         |             |          |            |          |      |     |                        |
| 12111366   |      | 02/27/2026 | 109769  | P_260327 | 753     | 1,351.71    | 1,351.71 | 04/06/2026 | DIR      | PD   |     | Exton Park Ph. II Plan |
| CHECK DATE: 04/06/2026                           |      |            |         |          |         |             |          |            |          |      |     |                        |
| 1291 DUNKIN DONUTS                               |      |            |         |          |         |             |          |            |          |      |     |                        |
| DDERT3192026                                     |      | 03/19/2026 | 110117  | P_260327 | 789     | 42.48       | 42.48    | 04/06/2026 | DIR      | PD   |     | ERT Training Meeting 3 |
| CHECK DATE: 04/06/2026                           |      |            |         |          |         |             |          |            |          |      |     |                        |
| 380 FEDEX OFFICE                                 |      |            |         |          |         |             |          |            |          |      |     |                        |
| 515881671 FEDEX                                  |      | 03/04/2026 | 110275  | P_260327 | 806     | 10.96       | 10.96    | 04/06/2026 | DIR      | PD   |     | SHIPPING CHARGE - POST |
| CHECK DATE: 04/06/2026                           |      |            |         |          |         |             |          |            |          |      |     |                        |
| 1808 Fun Express LLC                             |      |            |         |          |         |             |          |            |          |      |     |                        |
| 741407696  |      | 03/04/2026 | 109945  | P_260327 | 779     | 22.18       | 22.18    | 04/06/2026 | DIR      | PD   |     | KIDS HATS - COMMUNITY  |
| CHECK DATE: 03/27/2026                           |      |            |         |          |         |             |          |            |          |      |     |                        |
| 1607 Gentili's Pizza                             |      |            |         |          |         |             |          |            |          |      |     |                        |
| 119  |      | 03/04/2026 | 109860  | P_260327 | 777     | 95.40       | 95.40    | 04/06/2026 | DIR      | PD   |     | Open House             |
| CHECK DATE: 04/06/2026                           |      |            |         |          |         |             |          |            |          |      |     |                        |
| 418 GOVERNMENT FINANCE OFFICERS ASSOC            |      |            |         |          |         |             |          |            |          |      |     |                        |

## VENDOR INVOICE LIST

| INVOICE                               | P.O. | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID | AMOUNT | DUE DATE   | TYPE | STS | INVOICE DESCRIPTION    |
|---------------------------------------|------|------------|---------|----------|---------|-------------|------|--------|------------|------|-----|------------------------|
| 20260316                              |      | 03/16/2026 | 110012  | P_260327 | 780     | 500.00      |      | 500.00 | 04/06/2026 | DIR  | PD  | GFOA 2026 MEMBERSHIP   |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |      |        |            |      |     |                        |
| 472 HARBOR FREIGHT TOOLS              |      |            |         |          |         |             |      |        |            |      |     |                        |
| 737556                                |      | 03/24/2026 | 110185  | P_260327 | 797     | 462.83      |      | 462.83 | 04/06/2026 | DIR  | PD  | Tools For Fleet truck  |
| CHECK DATE: 03/27/2026                |      |            |         |          |         |             |      |        |            |      |     |                        |
| 1815 Lancode                          |      |            |         |          |         |             |      |        |            |      |     |                        |
| 2998641318605988                      |      | 03/18/2026 | 110108  | P_260327 | 787     | 60.00       |      | 60.00  | 04/06/2026 | DIR  | PD  | Training Registration  |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |      |        |            |      |     |                        |
| 4103664875527526                      |      | 03/18/2026 | 110107  | P_260327 | 786     | 75.00       |      | 75.00  | 04/06/2026 | DIR  | PD  | Training Registration  |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |      |        |            |      |     |                        |
|                                       |      |            |         |          |         | 135.00      |      |        |            |      |     |                        |
| 1799 Livefire Tactical Training       |      |            |         |          |         |             |      |        |            |      |     |                        |
| 4135                                  |      | 03/04/2026 | 109943  | P_260327 | 778     | 254.90      |      | 254.90 | 04/06/2026 | DIR  | PD  | TACTICAL TRAINING      |
| CHECK DATE: 03/27/2026                |      |            |         |          |         |             |      |        |            |      |     |                        |
| 743 PA CHAPTER OF APA                 |      |            |         |          |         |             |      |        |            |      |     |                        |
| 0014712                               |      | 03/04/2026 | 109849  | P_260327 | 769     | 868.90      |      | 868.90 | 04/06/2026 | DIR  | PD  | APA Dues for 2026      |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |      |        |            |      |     |                        |
| 745 PA DEP BUREAU OF WASTE MANAGEMENT |      |            |         |          |         |             |      |        |            |      |     |                        |
| 202603                                |      | 03/16/2026 | 110274  | P_260327 | 805     | 200.00      |      | 200.00 | 04/06/2026 | DIR  | PD  | Pa Waste Trans Safety  |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |      |        |            |      |     |                        |
| 1284 PANERA BREAD                     |      |            |         |          |         |             |      |        |            |      |     |                        |
| 6051716077523527                      |      | 03/09/2026 | 110272  | P_260327 | 802     | 165.42      |      | 165.42 | 04/06/2026 | DIR  | PD  | Consortium Breakfast - |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |      |        |            |      |     |                        |
| 1812 PaulB LLC                        |      |            |         |          |         |             |      |        |            |      |     |                        |
| 109                                   |      | 03/05/2026 | 109976  | P_260327 | 782     | 87.98       |      | 87.98  | 04/06/2026 | DIR  | PD  | Swivel Hook for Hoist  |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |      |        |            |      |     |                        |
| 1358 PHILADELPHIA PRETZEL FACTORY     |      |            |         |          |         |             |      |        |            |      |     |                        |
| Order 3/4/26                          |      | 03/04/2026 | 109859  | P_260327 | 776     | 30.00       |      | 30.00  | 04/06/2026 | DIR  | PD  | Open House             |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |      |        |            |      |     |                        |

VENDOR INVOICE LIST

| INVOICE                               | P.O. | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID   | AMOUNT     | DUE DATE | TYPE | STS | INVOICE DESCRIPTION    |
|---------------------------------------|------|------------|---------|----------|---------|-------------|--------|------------|----------|------|-----|------------------------|
| 857 RECONYX INC                       |      |            |         |          |         |             |        |            |          |      |     |                        |
| 1597585                               |      | 03/19/2026 | 110174  | P_260327 | 792     | 21.20       | 21.20  | 04/06/2026 | DIR      | PD   |     | SUBSCRIPTION           |
| CHECK DATE: 03/27/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
| 1641 CHESTER COUNTY RECORDER OF DEEDS |      |            |         |          |         |             |        |            |          |      |     |                        |
| 26-09129                              |      | 03/25/2026 | 110163  | P_260327 | 791     | 199.75      | 199.75 | 04/06/2026 | DIR      | PD   |     | Filing fee for stormwa |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
| 1640 SIMPLIFILE                       |      |            |         |          |         |             |        |            |          |      |     |                        |
| 20260302                              |      | 03/02/2026 | 110276  | P_260327 | 809     | 92.40       | 92.40  | 04/06/2026 | DIR      | PD   |     | EXTON PARK PHASE II SW |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
| 20260303                              |      | 03/03/2026 | 110277  | P_260327 | 807     | 116.90      | 116.90 | 04/06/2026 | DIR      | PD   |     | EXTON PARK II INSTRUME |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
| 20260324                              |      | 03/24/2026 | 110278  | P_260327 | 808     | 76.06       | 76.06  | 04/06/2026 | DIR      | PD   |     | 503 SUNSET STORMWATER  |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
|                                       |      |            |         |          |         | 285.36      |        |            |          |      |     |                        |
| 492 THE HOME DEPOT/GEFC               |      |            |         |          |         |             |        |            |          |      |     |                        |
| 41190005282553                        |      | 03/17/2026 | 110110  | P_260327 | 790     | 49.88       | 49.88  | 04/06/2026 | DIR      | PD   |     | Rope for Cricket Field |
| CHECK DATE: 03/27/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
| 41190005414479                        |      | 03/12/2026 | 109977  | P_260327 | 781     | 79.90       | 79.90  | 04/06/2026 | DIR      | PD   |     | Fence Rails            |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
| 41190005433388                        |      | 03/24/2026 | 110187  | P_260327 | 795     | 75.40       | 75.40  | 04/06/2026 | DIR      | PD   |     | Post and Rail Fencing  |
| CHECK DATE: 03/27/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
| 41370000150706                        |      | 03/18/2026 | 110186  | P_260327 | 796     | 11.41       | 11.41  | 04/06/2026 | DIR      | PD   |     | Brass Elbow            |
| CHECK DATE: 03/27/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
|                                       |      |            |         |          |         | 216.59      |        |            |          |      |     |                        |
| 1014 THE PENN STATER                  |      |            |         |          |         |             |        |            |          |      |     |                        |
| JNET26ACANALE                         |      | 03/16/2026 | 110001  | P_260327 | 784     | 304.14      | 304.14 | 04/08/2026 | DIR      | PD   |     | Lodging                |
| CHECK DATE: 03/27/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
| JNET26PGARDNER                        |      | 03/16/2026 | 110000  | P_260327 | 783     | 274.00      | 274.00 | 04/06/2026 | DIR      | PD   |     | LODGING - JNET TRAININ |
| CHECK DATE: 04/06/2026                |      |            |         |          |         |             |        |            |          |      |     |                        |
|                                       |      |            |         |          |         | 578.14      |        |            |          |      |     |                        |
| 1015 THE PHILADELPHIA INQUIRER        |      |            |         |          |         |             |        |            |          |      |     |                        |
| 202603 INQUIRER                       |      | 03/09/2026 | 110269  | P_260327 | 804     | 35.96       | 35.96  | 04/06/2026 | DIR      | PD   |     | MONTHLY SUBSCRIPTION 3 |

VENDOR INVOICE LIST

| INVOICE                              | P.O. | INV DATE   | VOUCHER | WARRANT  | CHECK # | INVOICE NET | PAID AMOUNT | DUE DATE   | TYPE | STS | INVOICE DESCRIPTION    |
|--------------------------------------|------|------------|---------|----------|---------|-------------|-------------|------------|------|-----|------------------------|
| CHECK DATE: 04/06/2026               |      |            |         |          |         |             |             |            |      |     |                        |
| 1063 TYLER TECHNOLOGIES INC          |      |            |         |          |         |             |             |            |      |     |                        |
| 4597                                 |      | 03/03/2026 | 109850  | P_260327 | 768     | 1,249.00    | 1,249.00    | 04/06/2026 | DIR  | PD  | 2026 Tyler Technologie |
| CHECK DATE: 04/06/2026               |      |            |         |          |         |             |             |            |      |     |                        |
| 1616 THE WALL STREET JOURNAL         |      |            |         |          |         |             |             |            |      |     |                        |
| 202603                               |      | 03/09/2026 | 110268  | P_260327 | 803     | 68.89       | 68.89       | 04/06/2026 | DIR  | PD  | MONTHLY SUBSCRIPTION 3 |
| CHECK DATE: 04/06/2026               |      |            |         |          |         |             |             |            |      |     |                        |
| 1123 WIGGINS AUTO TAGS NOTARY PUBLIC |      |            |         |          |         |             |             |            |      |     |                        |
| MV-14MG                              |      | 03/04/2026 | 109848  | P_260327 | 767     | 28.84       | 28.84       | 04/06/2026 | DIR  | PD  | Municipal Government P |
| CHECK DATE: 04/06/2026               |      |            |         |          |         |             |             |            |      |     |                        |
| 1150 ZOOM VIDEO COMM                 |      |            |         |          |         |             |             |            |      |     |                        |
| INV344181949                         |      | 03/02/2026 | 110271  | P_260327 | 799     | 40.00       | 40.00       | 03/27/2026 | DIR  | PD  | Monthly Subscripton    |
| CHECK DATE: 04/06/2026               |      |            |         |          |         |             |             |            |      |     |                        |
| 35 INVOICES                          |      |            |         |          |         | 7,646.63    |             |            |      |     |                        |

\*\* END OF REPORT - Generated by ASHLEA BULLOCK \*\*